

**NOTE:**

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01	10.01.20	Issue for consultation coordination.
02	10.03.20	Issue for consultation coordination.
03	04.04.20	Issue for consultation coordination.
04	04.06.20	Issue for final coordination.
05	24.06.20	Issue for DA submission.

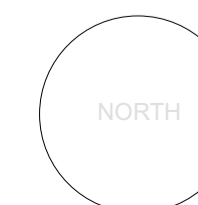
**No | DATE | AMENDMENT**

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**PROJECT  
PROPOSED MIXED USE LIGHT INDUSTRIAL PARK DEVELOPMENT**

**SITE:**  
27 Sunny Bank Road, Lisarow, NSW  
Lot 1, DP 880254

**CLIENT:**  
Palladium Property Services Pty Ltd



**BHI ARCHITECTS PTY LTD**  
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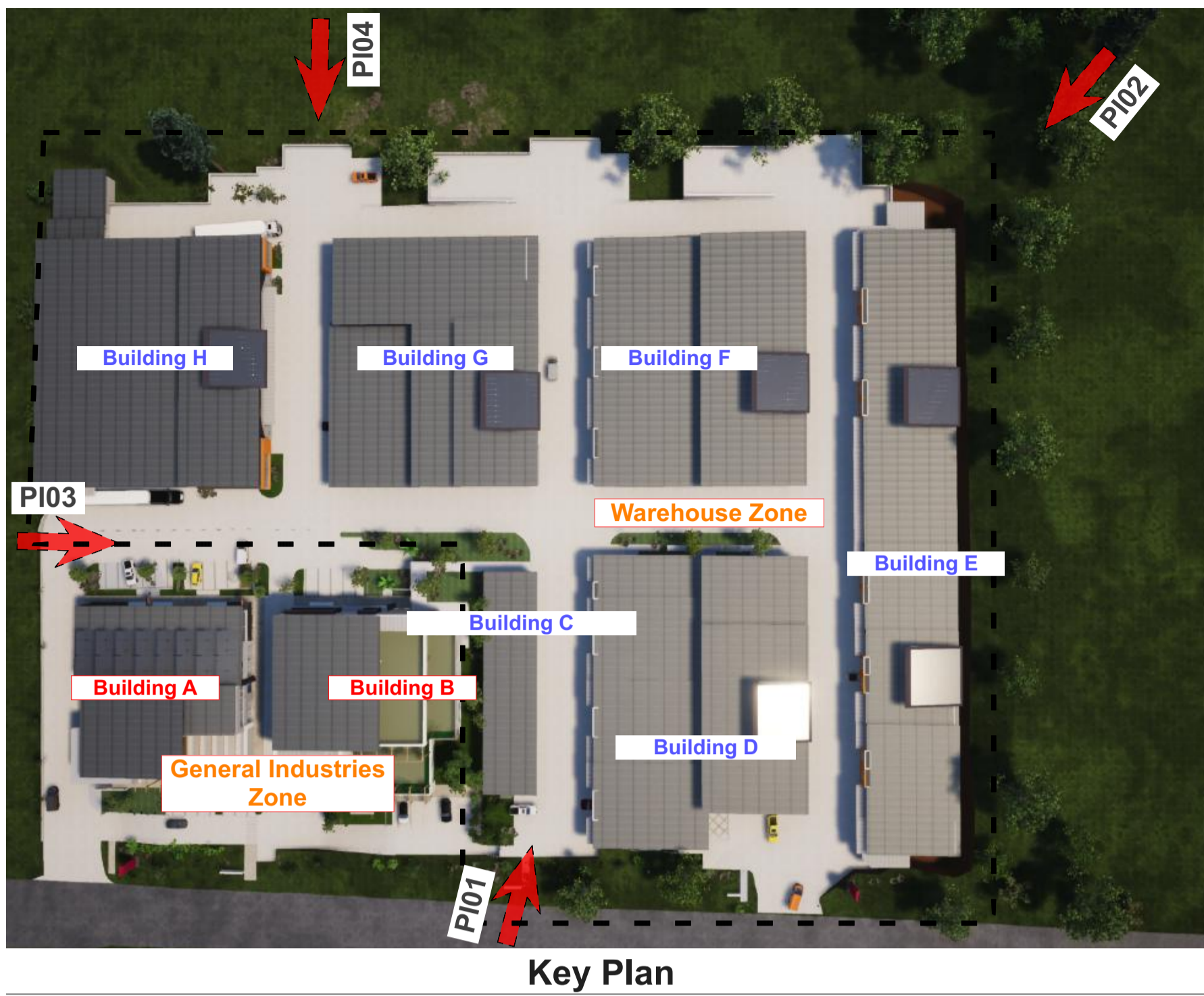


**DRAWING TITLE:** STATUS: **DA**

**3D Perspective Images\_A**

DRAWN	CHKD	DATE	SCALE:
JK	MH	3/7/20	@A1
PROJECT NO.	DRAWING NO.		
8756	A.0301	05	





Key Plan



Perspective Image 02



Perspective Image 03



Perspective Image 01



Perspective Image 04

Warehouse Zones

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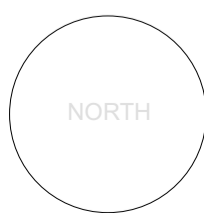
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DRAWING TITLE: STATUS: DA

3D Perspective Images\_B

DRAWN	CHKD	DATE	SCALE: @A1
JK	MH	3/7/20	1:1
PROJECT NO.	DRAWING NO.		
8756	A.0302	05	



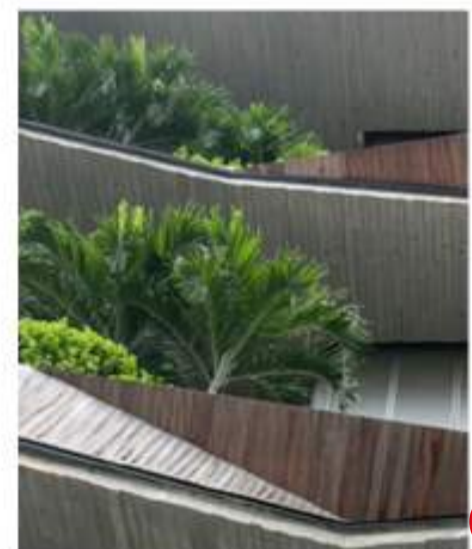
# MATERIALS

# EXTERNAL FINISHES

# INTERNAL IMPRESSION



TIMBER



GARDEN



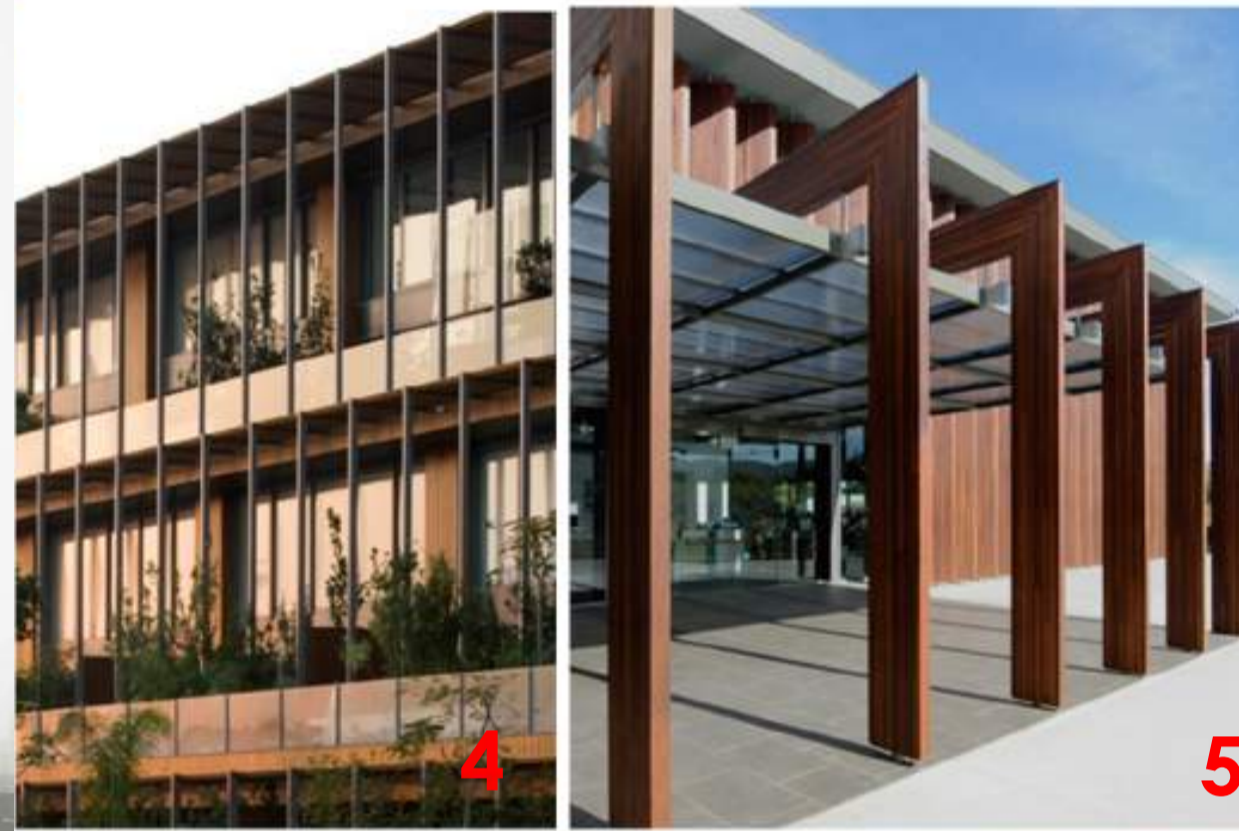
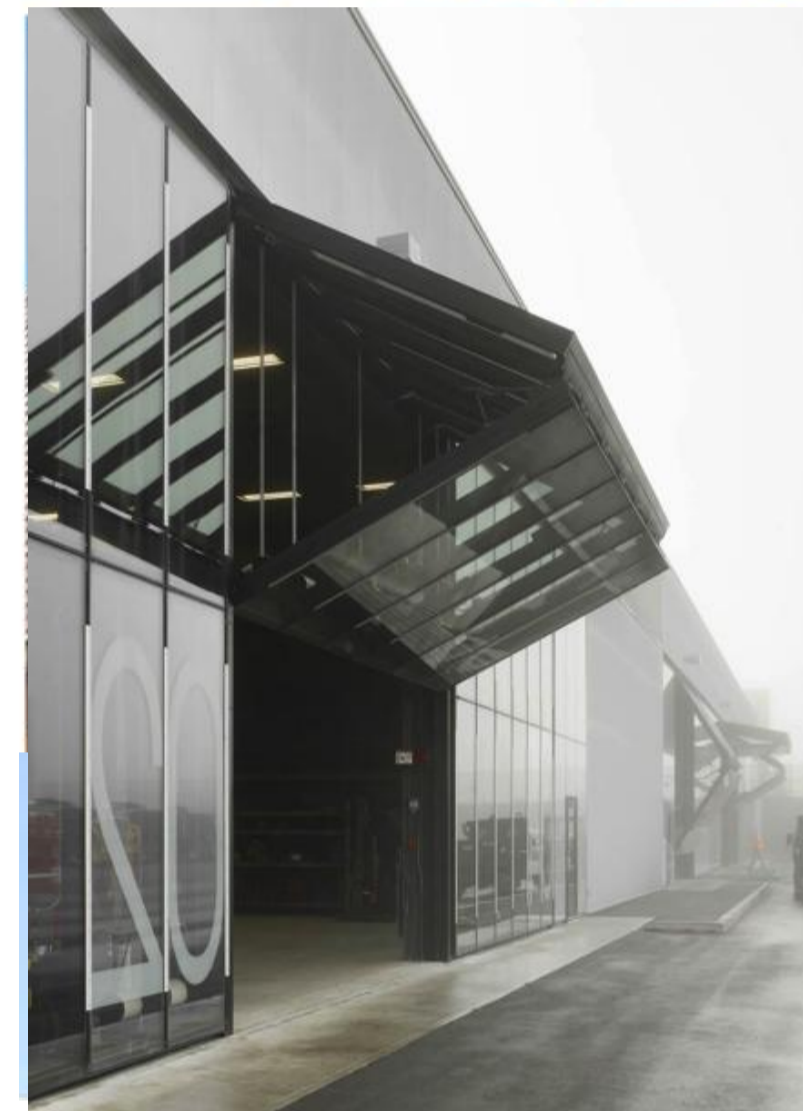
METAL CLADDING



TIMBER PANEL



2



4

5

6



C



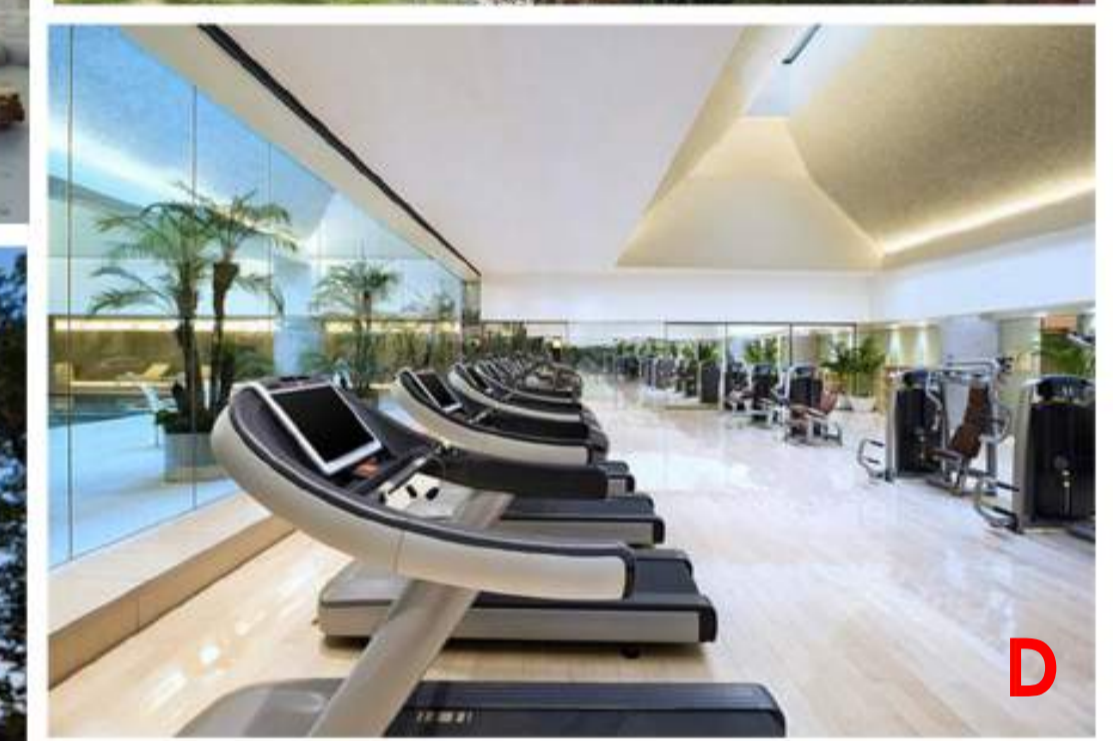
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F



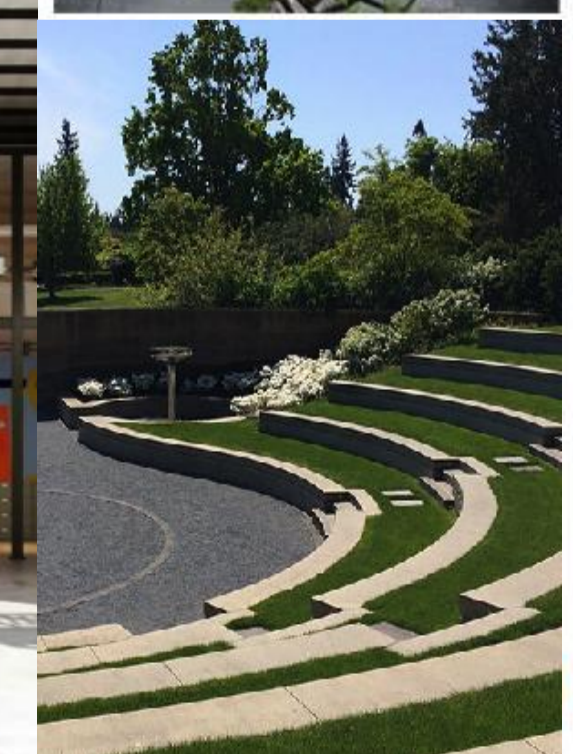
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D



G

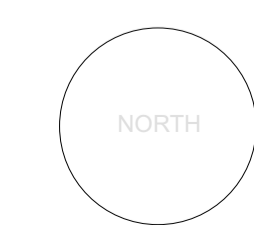


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DRAWING TITLE: **Mood Board** STATUS: **DA**  
 DRAWN: **JK** CHKD: **MH** DATE: **3/7/20** SCALE: **@A1**  
 PROJECT NO.: **8756** DRAWING NO.: **A.0501** **05**



268°39'40"  
163.65

268°39'40"  
163.65

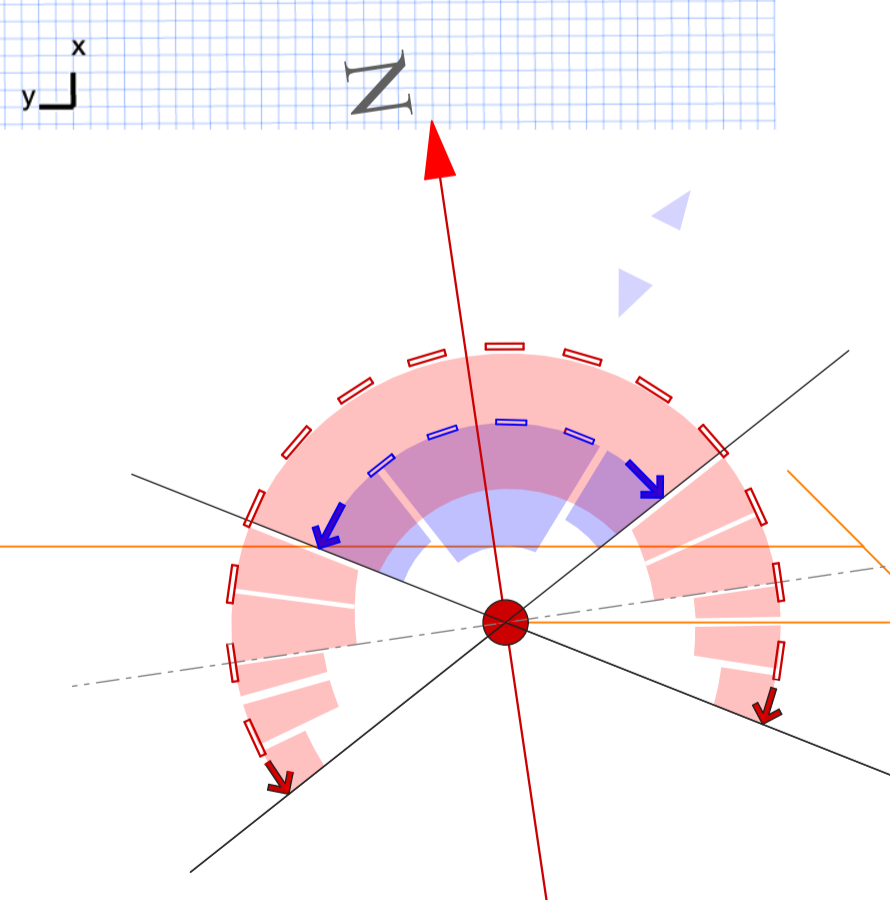
268°39'40"  
163.65



SHADOW DIAGRAM (9: 00: AM)

SHADOW DIAGRAM (12: 00: PM)

SHADOW DIAGRAM (3: 00: PM)



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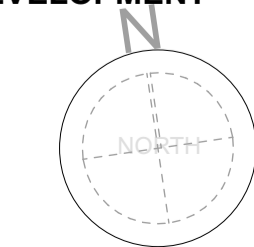
No | DATE | AMENDMENT

No	DATE	AMENDMENT

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DRAWING TITLE:  
Shadow Analysis Diagrams

DRAWN: JK  
CHKD: MH  
PROJECT NO.: 8756

DATE: 3/7/20  
DRAWING NO.: A.0502

STATUS: DA

SCALE: @A1  
05



# PROPOSED MIXED USE LIGHT INDUSTRIAL PARK DEVELOPMENT

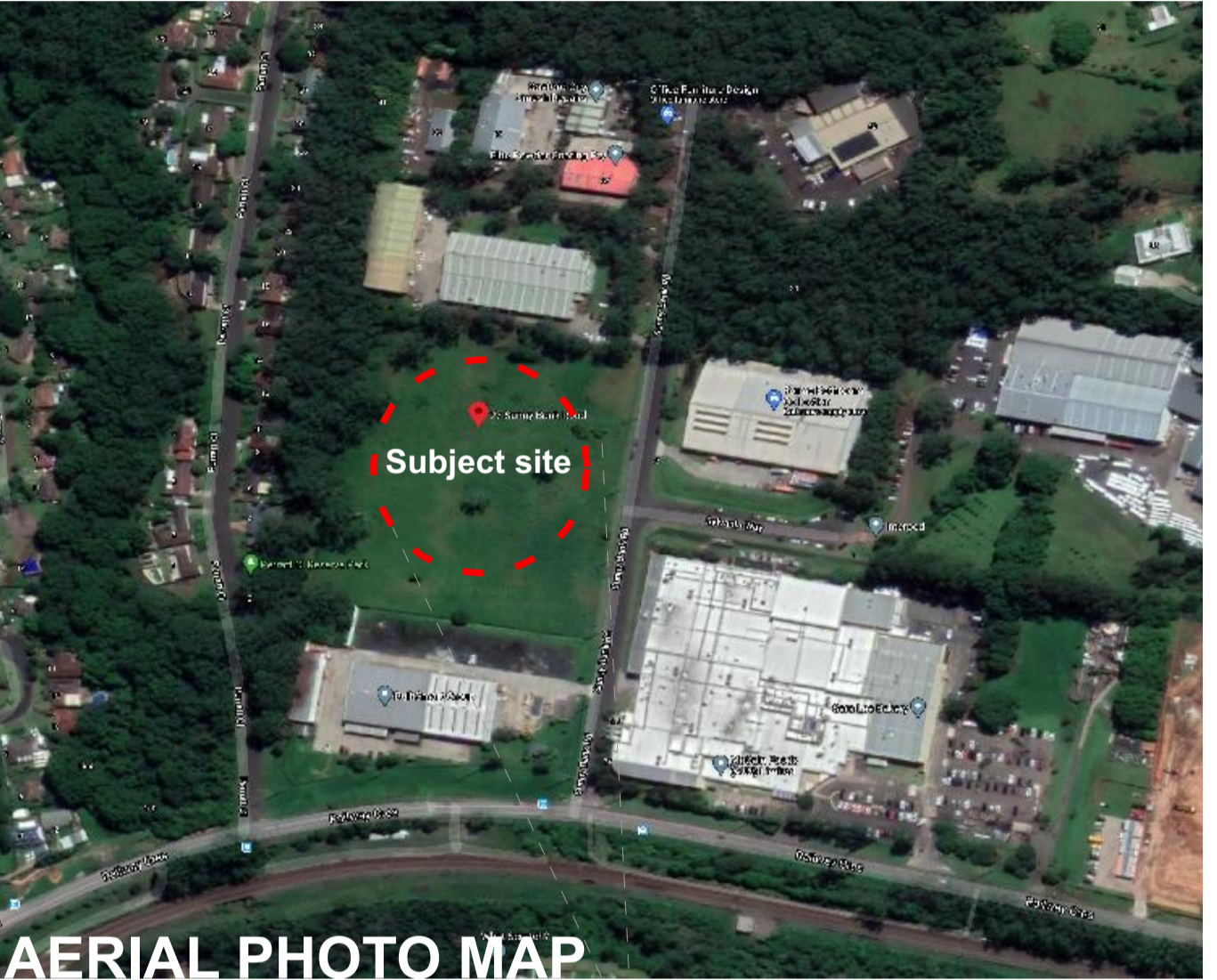
## DEVELOPMENT INFORMATION

**SITE INFORMATION.**  
 27 SUNNY BANK ROAD, LISAROW, NSW  
 LOT 1 DP 880254  
 SITE AREA : 3.096 ha (APPROX.)  
 Land Zoning : - IN1 General Industrial Zone  
 Bushfire Prone Land  
 Acid Sulfate Soils : Class 5  
 Flooding : Minimal flood issue

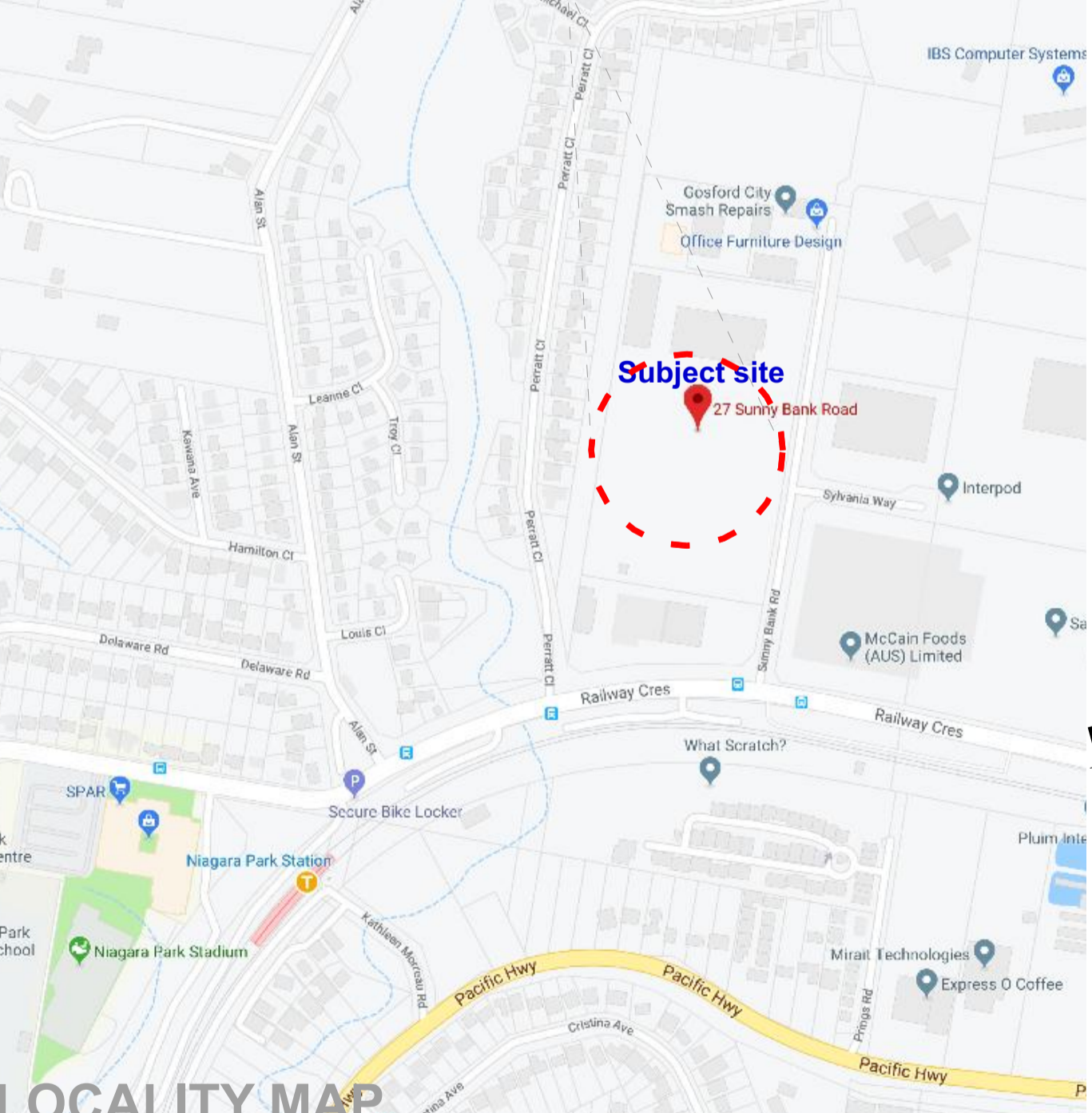
**FLOOR SPACE RATIO**  
 FSR (MAX.) : N/A



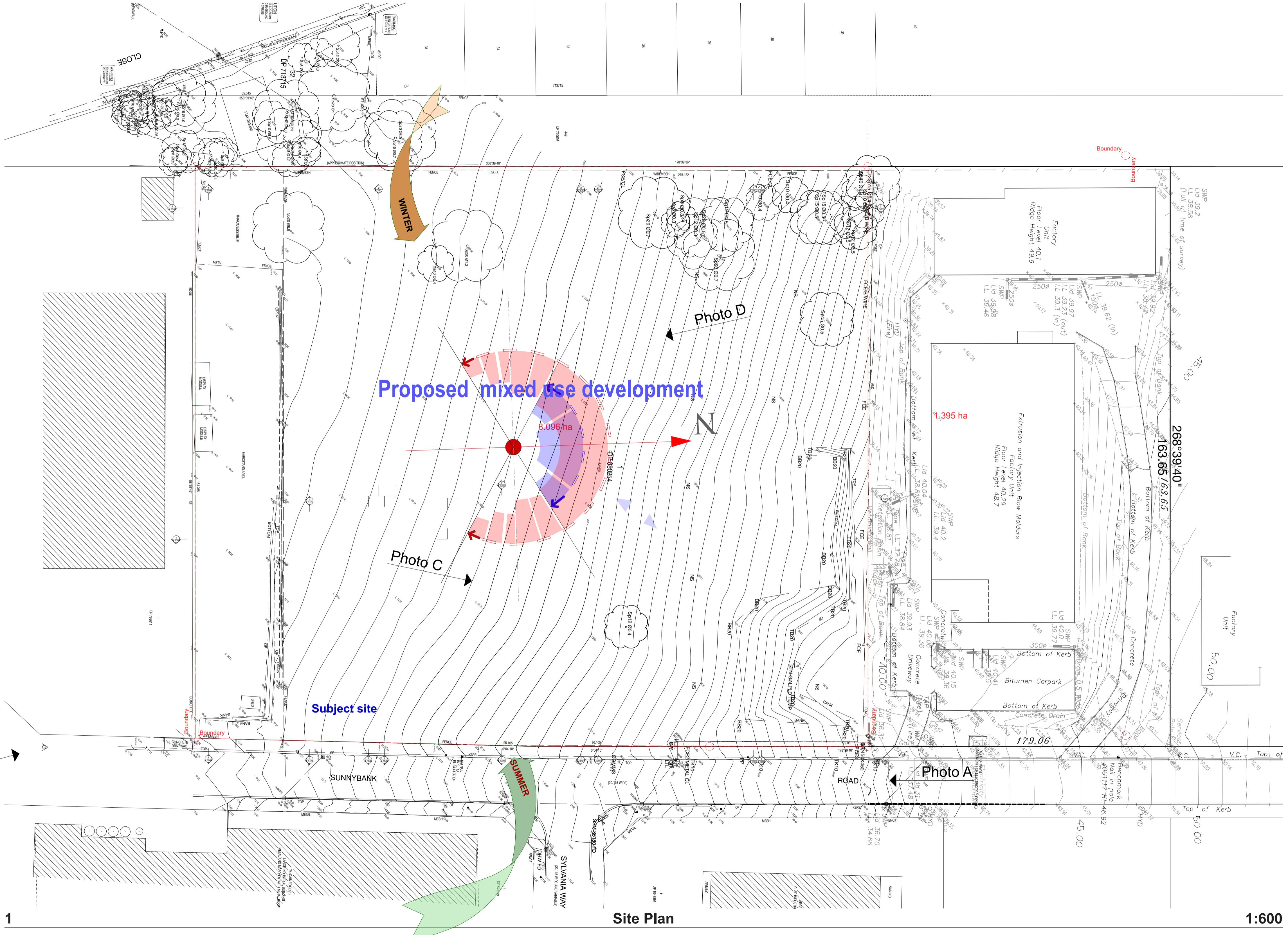
Site Photos



AERIAL PHOTO MAP



LOCALITY MAP



Proposed mixed use development

WINTER

SUMMER

Photo C

Photo D

Photo A

Photo B

Subject site

Site Plan

1:600

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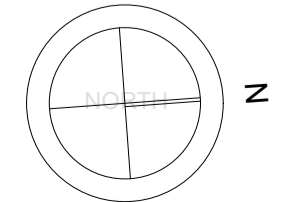
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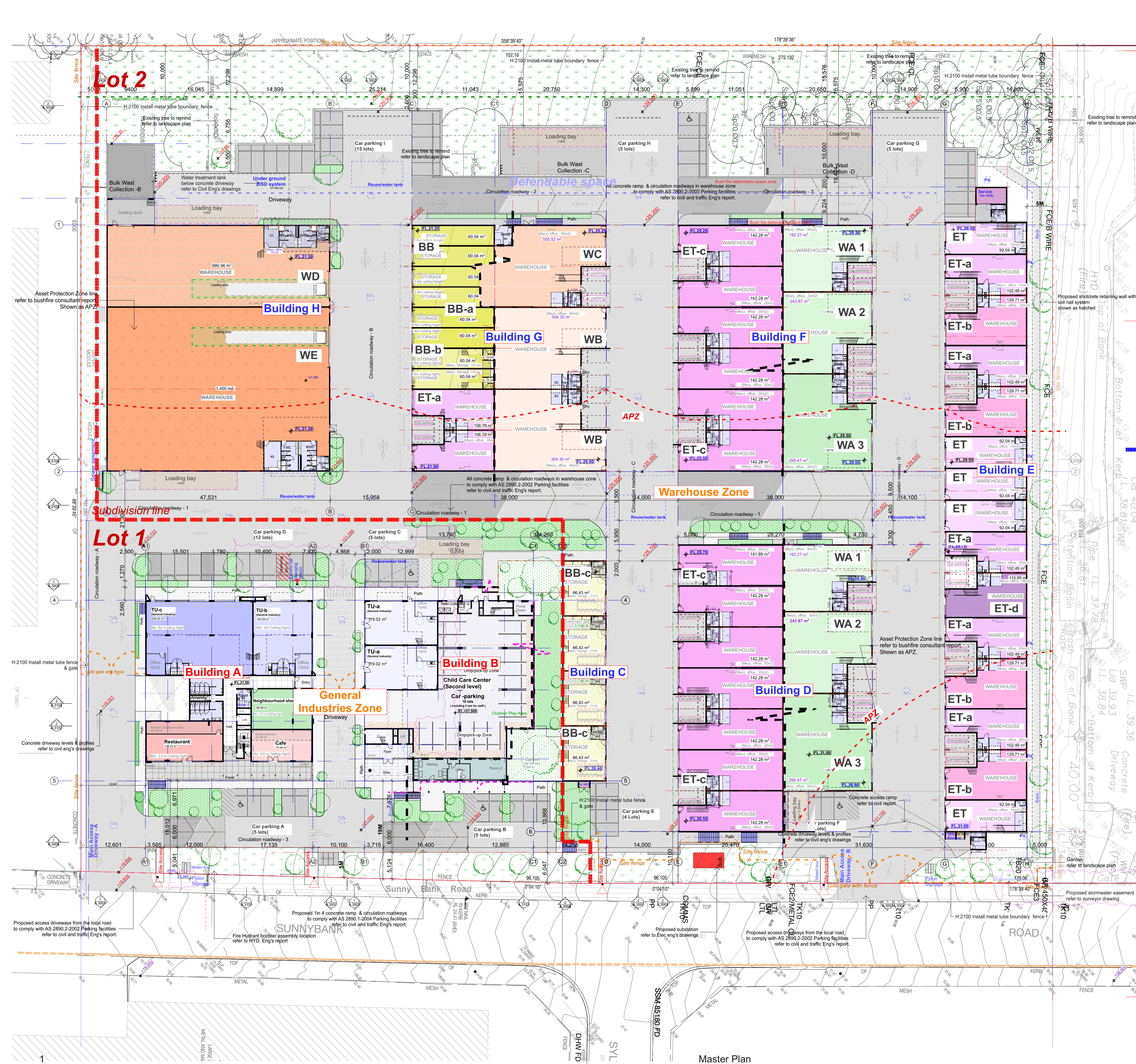
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DRAWING TITLE: **Site Analysis Plan (Site Information)**  
 STATUS: **DA**  
 DRAWN: **CHKD** DATE: **6/7/20** SCALE: **@A1**  
 JK: **MH** DATE: **6/7/20** SCALE: **1:600**  
 PROJECT NO. **8756** DRAWING NO. **A.1001**  
**05**





**DEVELOPMENT YIELD**

**General Industrial Zone**

**Building A : Total area : (1,131 + 223) = 1,354 m<sup>2</sup>**

Type (CA)	- 71 m <sup>2</sup>	= 1 UNIT
(including store & cool-room : 24 m <sup>2</sup> )		
Type (NS)	- 87 m <sup>2</sup>	= 1 UNIT
Type (GY)	- 400 m <sup>2</sup>	= 1 UNITS
Type (RES)	- 114 m <sup>2</sup>	= 1 UNIT
(including kitchen & store : 37 m <sup>2</sup> )		
Type (UT-b)	- 163 m <sup>2</sup>	= 1 UNIT
(including office area : 12 m <sup>2</sup> )		
Type (UT-c)	- 296 m <sup>2</sup>	= 1 UNIT
(including office area : 12 m <sup>2</sup> )		
<b>Total floor area : 1,131 m<sup>2</sup></b>		
<b>-Storage area at mezzanine level :</b>		
Type (UT-b)	- 75 m <sup>2</sup>	= 1 UNIT
Type (UT-c)	- 148 m <sup>2</sup>	= 1 UNIT
<b>Total area = 223 m<sup>2</sup></b>		

**Building B : Total area : (1,585 + 160) = 1,745 m<sup>2</sup>**

Type (Vet)	- 416 m <sup>2</sup>	= 1 UNIT
Type (UT-a)	- 119 m <sup>2</sup>	= 2 UNITS
(including office area for each units : 12 m <sup>2</sup> )		
Total floor area = 238 m <sup>2</sup>		
Type (ELO) - 892m <sup>2</sup>	= 1 UNIT	
(consists of storage at ground (35m <sup>2</sup> ), first (489m <sup>2</sup> ) & second (368m <sup>2</sup> ) floor area)		
Management Office (MO) - 39 m <sup>2</sup>	= 1 UNIT	
<b>Total floor area : 1,585m<sup>2</sup></b>		
<b>-Storage area at mezzanine level :</b>		
Type (UT-a) - 80 m <sup>2</sup>	= 2 UNIT	
<b>Total area = 160 m<sup>2</sup></b>		

**Total area for General Industrial Zone (13 units) = 3,099**

**- Detail area list for building usage for car parking calculation**

- Industrial usage(TU) : 697 m<sup>2</sup> (inc; Office: 48 m<sup>2</sup>)
- Storage usage area : 383 m<sup>2</sup>
- Retail/shop usage area (NA) : 87 m<sup>2</sup>
- Food and drink premises (Res & CA) : 185m<sup>2</sup>
- Child care centre (ELC) : 892m<sup>2</sup>
- Vet / Health (VET) : 416 m<sup>2</sup>
- Gym (GY) : 400 m<sup>2</sup>
- Management office : 39 m<sup>2</sup>

**Warehouse Zones**

**Building C : 4 UNITS : Total area : (344 + 84) = 428m<sup>2</sup>**

Type (BB-c)	- 121 m <sup>2</sup>	= 4 UNITS
<b>Total warehouse area = 344m<sup>2</sup></b>		
<b>- Storage area at mezzanine level :</b>		
Type (BB-c)	- 84 m <sup>2</sup>	= 4 UNITS
<b>Total Storage area = 84 m<sup>2</sup></b>		

**Building D : 10 UNITS : Total area : (1725 + 230) = 1,955m<sup>2</sup>**

Type (ET-c)	- 142 m <sup>2</sup>	= 7 UNITS
Type (WA1)	- 192 m <sup>2</sup>	= 1 UNIT
Type (WA2)	- 244 m <sup>2</sup>	= 1 UNIT
Type (WA3)	- 295 m <sup>2</sup>	= 1 UNIT
<b>Total warehouse area = 1,725m<sup>2</sup></b>		
<b>- Office area at mezzanine level</b>		
Type (ET-a)	- 20 m <sup>2</sup>	= 7 UNITS
Type (WA1,2&3)	- 30 m <sup>2</sup>	= 3 UNITS
<b>Total area = 230m<sup>2</sup></b>		

**Building E : 15 UNITS : Total area : (1,606 + 282) = 1,888 m<sup>2</sup>**

Type (ET)	- 92 m <sup>2</sup>	= 5 UNITS
Type (ET-a)	- 102 m <sup>2</sup>	= 5 UNITS
Type (ET-b)	- 130 m <sup>2</sup>	= 4 UNITS
Type (ET-d)	- 116 m <sup>2</sup>	= 1 UNIT
<b>Total warehouse area (ET,ET-a,ET-b &amp; ET-d) = 1,606 m<sup>2</sup></b>		
<b>- Office area at mezzanine level</b>		
Type (ET)	- 14 m <sup>2</sup>	= 5 UNITS
Type (ET-a)	- 23 m <sup>2</sup>	= 4 UNITS
Type (ET-b)	- 20 m <sup>2</sup>	= 1 UNIT
Type (ET-d)	- 20 m <sup>2</sup>	= 1 UNIT
<b>Total office area = 282 m<sup>2</sup></b>		

**Building F : 9 UNITS : Total area : (1,583 + 210) = 1,793 m<sup>2</sup>**

Type (ET-c)	- 142 m <sup>2</sup>	= 6 UNITS
Type (WA1)	- 192 m <sup>2</sup>	= 1 UNIT
Type (WA2)	- 244 m <sup>2</sup>	= 1 UNIT
Type (WA3)	- 295 m <sup>2</sup>	= 1 UNIT
<b>Total warehouse area = 1,583m<sup>2</sup></b>		
<b>- Office area at mezzanine level</b>		
Type (ET-a)	- 20 m <sup>2</sup>	= 6 UNITS
Type (WA1,2&3)	- 30 m <sup>2</sup>	= 3 UNITS
<b>Total area = 210m<sup>2</sup></b>		

**Building G : 13 UNITS : Total area : (1,378 + 480 + 170 + 30) = 2,058 m<sup>2</sup>**

Typical unit (WB)	- 304 m <sup>2</sup>	= 2 UNITS
Type (WC)	- 556 m <sup>2</sup>	= 1 UNIT
Type (ET-a)	- 107 m <sup>2</sup>	= 2 UNITS
<b>Total warehouse area (WB,WC, &amp; ET-a) = 1,378 m<sup>2</sup></b>		
<b>- Storage area at mezzanine level</b>		
Type (BB)	- 60 m <sup>2</sup>	= 4 UNITS (storage use)
Type (BB-a)	- 60 m <sup>2</sup>	= 2 UNITS (storage use)
Type (BB-b)	- 60 m <sup>2</sup>	= 2 UNITS (storage use)
<b>Total storage area (BB, BB-a &amp; BB-b) = 480 m<sup>2</sup></b>		
<b>- Office area at mezzanine level</b>		
Type (WB)	- 40 m <sup>2</sup>	= 2 UNITS
Type (WC)	- 50 m <sup>2</sup>	= 1 UNIT
Type (ET-a)	- 20 m <sup>2</sup>	= 2 UNITS
<b>Total area = 170m<sup>2</sup></b>		

**Building H : 2 UNITS : Total area : (2,081 + 204) = 2,285 m<sup>2</sup>**

Type (WE)	- 1,400 m <sup>2</sup>	= 1 UNIT
Type (WD)	- 881 m <sup>2</sup>	= 1 UNIT
<b>Total warehouse area = 2,081m<sup>2</sup></b>		
<b>- Office area at mezzanine level :</b>		
Type (WE)	- 126 m <sup>2</sup>	= 1 UNIT
Type (WD)	- 78 m <sup>2</sup>	= 1 UNIT
<b>Total area = 204 m<sup>2</sup></b>		

**Total area for warehouse Zones (53 units) = 10,407m<sup>2</sup>**

**- Detail area list for building usage for car parking calculation**

- Warehouse usage : 8,717 m<sup>2</sup>
- Office usage area : 1096 m<sup>2</sup>
- Storage usage area : 594 m<sup>2</sup>

**COLOUR SCHEDULE LEGEND FOR UNIT TYPES.**

**General Industrial Zone**

(CA) : Cafe (Street accessible)	Dining (47m <sup>2</sup> ) & kitchen (24 m <sup>2</sup> ) area at ground floor level	71m <sup>2</sup>
(Res) : Restaurant (Street accessible)	Dining (77m <sup>2</sup> ) & kitchen (37 m <sup>2</sup> ) area at ground floor level	114 m <sup>2</sup>
(TU-a) : General Industry unit (Street accessible)	Unit floor (119 m <sup>2</sup> ) area at ground level	119 m <sup>2</sup>
	Storage (80m <sup>2</sup> ) area at Mezz. floor level	80 m <sup>2</sup>
<b>Total floor area : 199 m<sup>2</sup></b>		
(TU-b) : General Industry unit (Street accessible)	Unit floor (163 m <sup>2</sup> ) area at ground level	163 m <sup>2</sup>
	Storage (75m <sup>2</sup> ) area at Mezz. floor level	75 m <sup>2</sup>
<b>Total floor area : 238 m<sup>2</sup></b>		
(TU-c) : General Industry unit (Street accessible)	Unit floor (296 m <sup>2</sup> ) area at ground level	296 m <sup>2</sup>
	Storage (148m <sup>2</sup> ) area at Mezz. floor level	148 m <sup>2</sup>
<b>Total floor area : 444 m<sup>2</sup></b>		
(NS) : Neighbourhood Shop (Street accessible)	Total floor area : 87m <sup>2</sup>	87m <sup>2</sup>
(GY) : Gym / Sport activity centre (at first floor level)	(24 hour accessible Gymnasium)	400 m <sup>2</sup> area
(ELC) : Early Learning Centre (90 Licensed/60 with 710m <sup>2</sup> outdoor play) / Basement car-parking space	First floor (489 m <sup>2</sup> ) & second floor (368 m <sup>2</sup> ) area	857 m <sup>2</sup> area
(Vet) : Veterinary Hospital (Street accessible)	Total floor area : 416 m <sup>2</sup>	416 m <sup>2</sup>
(MO) : Service Management Office	Total floor area : 39 m <sup>2</sup>	39 m <sup>2</sup>

**Warehouse zones**

(BB) : Butter Boxes (storage unit)	self-storage units (60m <sup>2</sup> ) area at ground level	60 m <sup>2</sup>
(BB-a) : Butter Boxes (storage unit)	self-storage units (60m <sup>2</sup> ) area at ground level	60 m <sup>2</sup>
( / Min. 5.8M Ceiling height )		
(BB-b) : Butter Boxes (storage unit)	self-storage units (60m <sup>2</sup> ) area at ground level	60 m <sup>2</sup>
Storage (15m <sup>2</sup> ) at Mezz. floor level		
Total floor area : 75 m <sup>2</sup>		
( / Wet area / Min. 5.8M Ceiling height )		
(BB-c) : Butter Boxes (storage unit)	self-storage units (36m <sup>2</sup> ) area at ground level	36 m <sup>2</sup>
Storage (21m <sup>2</sup> ) at Mezz. floor level		
Total floor area : 107 m <sup>2</sup>		
( 1 lot of car parking / Wet area / Min. 4.5M Ceiling height )		
(ET) : Enterprise unit (warehouse)	Warehouse (92m <sup>2</sup> ) area at ground level	92 m <sup>2</sup>
Office (14m <sup>2</sup> ) at first floor level		
Total floor area : 106 m <sup>2</sup>		
( 1 lot car parking )		
(ET-a) : Enterprise unit (warehouse)	Warehouse (102m <sup>2</sup> ) area at ground level	102 m <sup>2</sup>
Office (20m <sup>2</sup> ) at first floor level		
Total floor area : 122 m <sup>2</sup>		
( 1 lot car parking )		
(ET-b) : Enterprise unit (warehouse)	Warehouse (130 m <sup>2</sup> ) area at ground level	130 m <sup>2</sup>
Office (23m <sup>2</sup> ) at first floor level		
Total floor area : 153 m <sup>2</sup>		
( 1 lot car parking )		
(ET-c) : Enterprise unit (warehouse)	Warehouse (142m <sup>2</sup> ) area at ground level	142 m <sup>2</sup>
Office (20m <sup>2</sup> ) at first floor level		
Total floor area : 162 m <sup>2</sup>		
( 1 lot car parking )		
(ET-d) : Enterprise unit (warehouse)	Warehouse (116 m <sup>2</sup> ) area at ground level	116 m <sup>2</sup>
Office (20m <sup>2</sup> ) at first floor level		
Total floor area : 136 m <sup>2</sup>		
( 1 lot car parking )		
(WA 1) : Warehouse unit A	Warehouse (192m <sup>2</sup> ) area at ground level	192 m <sup>2</sup>
Office (30m <sup>2</sup> ) at first floor level		
Total floor area : 222m <sup>2</sup>		
( 2 lot car parking )		
(WA 2) : Warehouse unit A	Warehouse (244 m <sup>2</sup> ) area at ground level	244 m <sup>2</sup>
Office (30m <sup>2</sup> ) at first floor level		
Total floor area : 274 m <sup>2</sup>		
( 2 lot car parking )		
(WA 3) : Warehouse unit A	Warehouse (295 m <sup>2</sup> ) area at ground level	295 m <sup>2</sup>
Office (30m <sup>2</sup> ) at first floor level		
Total floor area : 325 m <sup>2</sup>		
( 2 lot car parking )		
(WB) : Warehouse unit B	Warehouse (304m <sup>2</sup> ) area at ground level	304 m <sup>2</sup>
Office (40m <sup>2</sup> ) at first floor level		
Total floor area : 344 m <sup>2</sup>		
( 3 lot car parking )		
(WC) : Warehouse unit C	Warehouse (551 m <sup>2</sup> ) area at ground level	551 m <sup>2</sup>
Office (50m <sup>2</sup> ) at first floor level		
Total floor area : 601 m <sup>2</sup>		
( 4 lot car parking )		
(WD) : Warehouse unit D	Warehouse (685 m <sup>2</sup> ) area at ground level	685 m <sup>2</sup>
Office (78m <sup>2</sup> ) at first floor level		
Total floor area : 763m <sup>2</sup>		
( 4 lot car parking )		
(WE) : Warehouse unit E	Warehouse (1400 m <sup>2</sup> ) area at ground level	1400 m <sup>2</sup>
Office (126 m <sup>2</sup> ) at first floor level		
Total floor area : 1526 m <sup>2</sup>		
( 10 lot car parking )		

**NOTE:**

1. TIMBER FRAMING AND WIND BRACING TO COMPLY WITH AS 1684 AND TO NSW TIMBER FRAMING MANUAL AMENDED TO SUIT WIND TERRAIN CATEGORY 2.
2. PROVIDE CERTIFIED AS 3600.
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No	DATE	AMENDMENT
01	10.01.20	Issue for consultation coordination.
02	10.03.20	Issue for consultation coordination.
03	04.04.20	Issue for consultation coordination.
04	06.06.20	Issue for final coordination.
05	24.06.20	Issue for DA submission.
06	28.09.20	Issue for DA Resub.

No	DATE	AMENDMENT

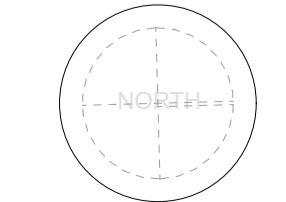
PROJECT  
**PROPOSED MIXED USE LIGHT INDUSTRIAL PARK DEVELOPMENT**

SITE:  
**27 Sunny Bank Road, Lisarow, NSW  
Lot 1, DP 880254**

CLIENT:  
**Palladium Property Services Pty Ltd**

BHI ARCHITECTS PTY LTD  
SYDNEY  
Suite 3 1077 Dunning Avenue,  
Rosebery NSW Australia 2018  
T: +61 (0)2 9313 7800

WOLLONGONG  
KIAMA  
4125 Terrington Street,  
Kiama, NSW, AUSTRALIA, 2533  
T: +61 2 4232 2125



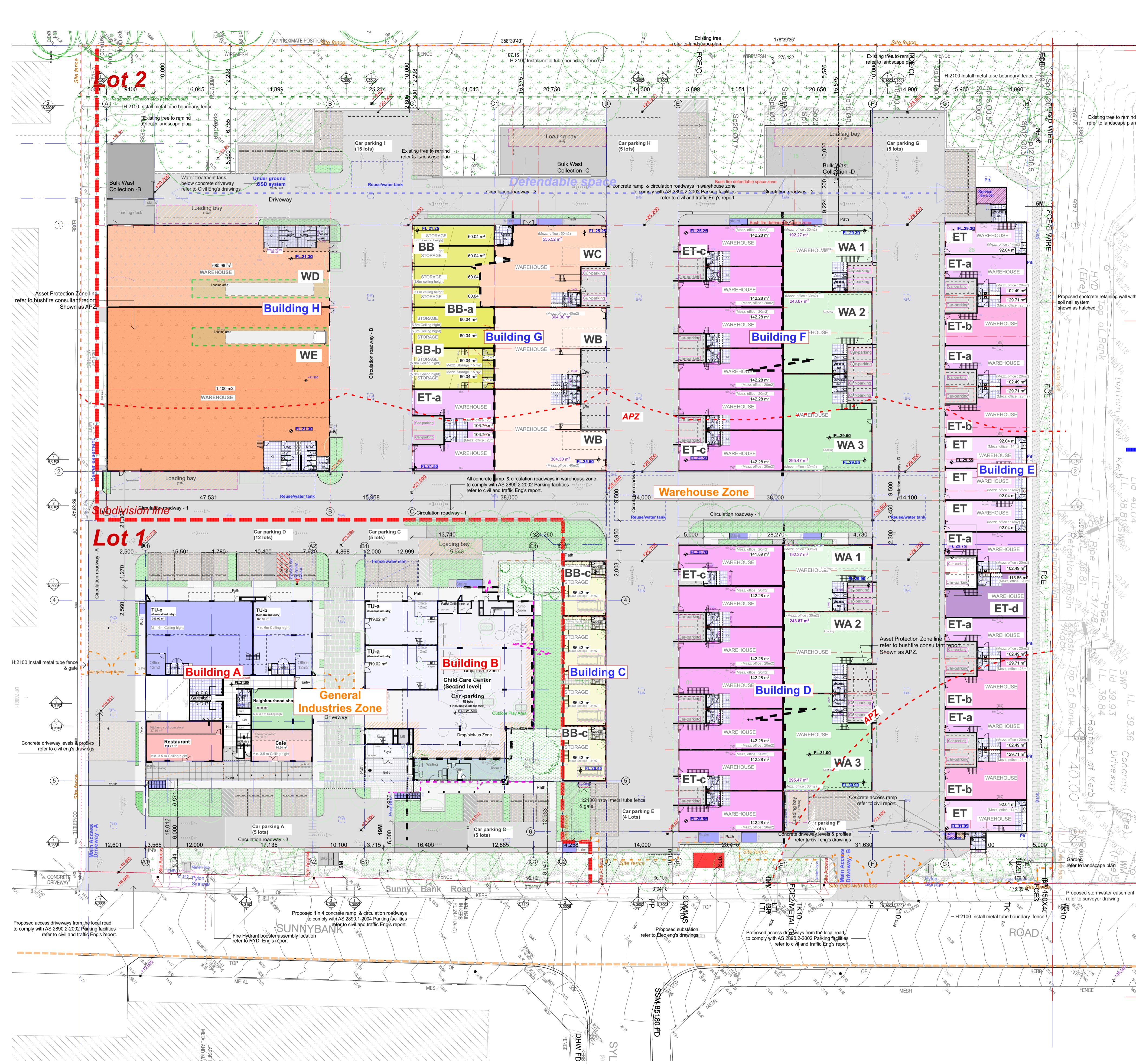
DRAWING TITLE: **Site Plan & Development Schedule** STATUS: **DA**

DRAWN: **JK** CHKD: **MH** DATE: **1/12/20** SCALE: **@A1**

PROJECT NO. **8756** DRAWING NO. **A.1002**

**06**





**DEVELOPMENT YIELD**

**General Industrial Zone**

**Building A : Total area : (1,131 + 223) = 1,354 m2**

Type (CA) - 71 m2 : 1 UNIT (including store & cool-room : 24 m2)  
 Type (NS) - 87 m2 : 1 UNIT  
 Type (GY) - 400 m2 : 1 UNIT  
 Type (RES) - 114 m2 : 1 UNIT (including kitchen & store : 37 m2)  
 Type (UT-b) - 163 m2 : 1 UNIT (including office area : 12 m2)  
 Type (UT-c) - 296 m2 : 1 UNIT (including office area : 12 m2)

**Total floor area : 1,131 m2**

-Storage area at mezzanine level :  
 Type (UT-b) - 75 m2 : 1 UNIT  
 Type (UT-c) - 148 m2 : 1 UNIT  
**Total area = 223 m2**

**Building B : Total area : (1,585 + 160) = 1,745 m2**

Type (Vet) - 416 m2 : 1 UNIT  
 Type (UT-a) - 119 m2 : 2 UNITS (including office area for each units : 12 m2)  
 Total floor area = 238 m2  
 Type (ELO) - 892m2 : 1 UNIT (consists of storage at ground (35m2), first (489m2) & second (368m2) floor area)  
 Management Office (MO) - 39 m2 : 1 UNIT  
**Total floor area : 1,585m2**

-Storage area at mezzanine level :  
 Type (UT-a) - 80 m2 : 2 UNIT  
**Total area = 160 m2**

**Total area for General Industrial Zone (13 units) = 3,099**

- Detail area list for building usage for car parking calculation

- Industrial usage(TU) : 697 m2 (inc. Office: 48 m2)
- Storage usage area : 383 m2
- Retail/shop usage area (NA) : 87 m2
- Food and drink premises (Res & CA) : 185m2
- Child care centre (ELC) : 892m2
- Vet / Health (VET) : 416 m2
- Gym (GY) : 400 m2
- Management office : 39 m2

**Warehouse Zones**

**Building C : 4 UNITS : Total area : (344 + 84) = 428m2**

Type (BB-c) : 4 UNITS  
**Total warehouse area = 344m2**

- Storage area at mezzanine level :  
 Type (BB-c) - 21 m2 : 4 UNITS  
**Total Storage area = 84 m2**

**Building D : 10 UNITS : Total area : (1725 + 230) = 1,955m2**

Type (ET-c) : 7 UNITS  
 Type (WA1) : 1 UNIT  
 Type (WA2) : 1 UNIT  
 Type (WA3) : 2 UNITS  
**Total warehouse area = 1,725m2**

- Office area at mezzanine level  
 Type (ET-a) - 20 m2 : 7 UNITS  
 Type (WA1,2&3) - 30 m2 : 3 UNITS  
**Total area = 230m2**

**Building E : 15 UNITS : Total area : (1,606 + 282) = 1,888 m2**

Type (ET) : 5 UNITS  
 Type (ET-a) - 102 m2 : 5 UNITS  
 Type (ET-b) - 130 m2 : 4 UNITS  
 Type (ET-d) - 116 m2 : 1 UNIT  
**Total warehouse area (ET,ET-a,ET-b & ET-d) = 1,606 m2**

- Office area at mezzanine level  
 Type (ET) - 14 m2 : 5 UNITS  
 Type (ET-b) - 23 m2 : 4 UNITS  
 Type (ET-d) - 20 m2 : 1 UNIT  
**Total office area = 282 m2**

**Building F : 9 UNITS : Total area : (1,583 + 210) = 1,793 m2**

Type (ET-c) - 142 m2 : 6 UNITS  
 Type (WA1) - 192 m2 : 1 UNIT  
 Type (WA2) - 244 m2 : 1 UNIT  
 Type (WA3) - 285 m2 : 1 UNIT  
**Total warehouse area = 1,583m2**

- Office area at mezzanine level  
 Type (ET-a) - 20 m2 : 6 UNITS  
 Type (WA1,2&3) - 30 m2 : 3 UNITS  
**Total area = 210m2**

**Building G : 13 UNITS : Total area : (1,378 + 480 + 170 + 30) = 2,058 m2**

Typical unit (WB) - 304 m2 : 2 UNITS  
 Type (WC) - 556 m2 : 1 UNIT  
 Type (ET-a) - 107 m2 : 2 UNITS  
**Total warehouse area (WB,WC, & ET-a) = 1,378 m2**

Type (BB) - 60 m2 : 4 UNITS (storage use)  
 Type (BB-a) - 60 m2 : 2 UNITS (storage use)  
 Type (BB-b) - 60 m2 : 2 UNITS (storage use)  
**Total storage area (BB, BB-a & BB-b) = 480 m2**

- Office area at mezzanine level  
 Type (WB) - 40 m2 : 2 UNITS  
 Type (WC) - 50 m2 : 1 UNIT  
 Type (ET-a) - 20 m2 : 2 UNITS  
**Total area = 170m2**

- Storage area at mezzanine level :  
 Type (BB-b) - 15m2 : 2 UNITS  
**Total area = 30m2**

**Building H : 2 UNITS : Total area : (2,081 + 204) = 2,285 m2**

Type (WE) - 1,400 m2 : 1 UNIT  
 Type (WD) - 881 m2 : 1 UNIT  
**Total warehouse area = 2,081m2**

-Office area at mezzanine level :  
 Type (WE) - 126 m2 : 1 UNIT  
 Type (WD) - 78 m2 : 1 UNIT  
**Total area = 204 m2**

**Total area for warehouse Zones (53 units) = 10,407m2**

- Detail area list for building usage for car parking calculation

- Warehouse usage : 8,717 m2
- Office usage area : 1096 m2
- Storage usage area : 594 m2

**COLOUR SCHEDULE LEGEND FOR UNIT TYPES.**

**General Industrial Zone**

(CA) : Cafe (Street accessible)  
 Dining (47m2) & kitchen (24 m2) area at ground floor level  
**Total floor area : 71m2**

(Res) : Restaurant (Street accessible)  
 Dining (77m2) & kitchen (37 m2) area at ground floor level  
**Total floor area : 114 m2**

(TU-a) : General Industry unit (Street accessible)  
 Unit floor (119 m2) area at ground level  
 Storage (80m2) area at Mezz. floor level  
**Total floor area : 199 m2**

(TU-b) : General Industry unit (Street accessible)  
 Unit floor (163 m2) area at ground level  
 Storage (75m2) area at Mezz. floor level  
**Total floor area : 238 m2**

(TU-c) : General Industry unit (Street accessible)  
 Unit floor (296 m2) area at ground level  
 Storage (148m2) area at Mezz. floor level  
**Total floor area : 444 m2**

(NS) : Neighbourhood Shop (Street accessible)  
 Total floor area : 87m2

(GY) : Gym / Sport activity centre (at first floor level)  
 (24 hour accessible Gymnasium)  
**Total floor area : 400 m2 area**

(ELC) : Early Learning Centre  
 (90 Licensed) with 710m2 outdoor play /  
 Basement car-parking space  
 First floor (489 m2) & second floor (368 m2) area  
**Total floor area : 857 m2**

(Vet) : Veterinary Hospital (Street accessible)  
**Total floor area : 416 m2**

(MO) : Service Management Office  
**Total floor area : 39 m2**

**Warehouse zones**

(BB) : Butter Boxes (storage unit)  
 self-storage units (60m2) area at ground level  
**Total floor area: 60 m2**

(BB-a) : Butter Boxes (storage unit)  
 self-storage units (60m2) area at ground level  
**Total floor area: 60 m2**  
 ( / Min. 5.8M Ceiling height )

(BB-b) : Butter Boxes (storage unit)  
 self-storage units (60m2) area at ground level  
 Storage (15m2) at Mezz. floor level  
**Total floor area: 75 m2**  
 ( / Wet area / Min. 5.8M Ceiling height )

(BB-c) : Butter Boxes (storage unit)  
 self-storage units (36m2) area at ground level  
 Storage (21m2) at Mezz. floor level  
**Total floor area: 107 m2**  
 ( 1 lot of car parking / Wet area / Min. 4.5M Ceiling height )

(ET) : Enterprise unit (warehouse)  
 Warehouse (92m2) area at ground level  
 Office (14m2) at first floor level  
**Total floor area: 106 m2**  
 ( 1 lot car parking )

(ET-a) : Enterprise unit (warehouse)  
 Warehouse (102m2) area at ground level  
 Office (20m2) at first floor level  
**Total floor area: 122 m2**  
 ( 1 lot car parking )

(ET-b) : Enterprise unit (warehouse)  
 Warehouse (130 m2) area at ground level  
 Office (23m2) at first floor level  
**Total floor area: 153 m2**  
 ( 1 lot car parking )

(ET-c) : Enterprise unit (warehouse)  
 Warehouse (142m2) area at ground level  
 Office (20m2) at first floor level  
**Total floor area: 162 m2**  
 ( 1 lot car parking )

(ET-d) : Enterprise unit (warehouse)  
 Warehouse (116 m2) area at ground level  
 Office (20m2) at first floor level  
**Total floor area: 136 m2**  
 ( 1 lot car parking )

(WA 1) : Warehouse unit A  
 Warehouse (192m2) area at ground level  
 Office (30m2) at first floor level  
**Total floor area: 222m2**  
 ( 2 lot car parking )

(WA 2) : Warehouse unit A  
 Warehouse (244 m2) area at ground level  
 Office (30m2) at first floor level  
**Total floor area: 274 m2**  
 ( 2 lot car parking )

(WA 3) : Warehouse unit A  
 Warehouse (285 m2) area at ground level  
 Office (30m2) at first floor level  
**Total floor area: 325 m2**  
 ( 2 lot car parking )

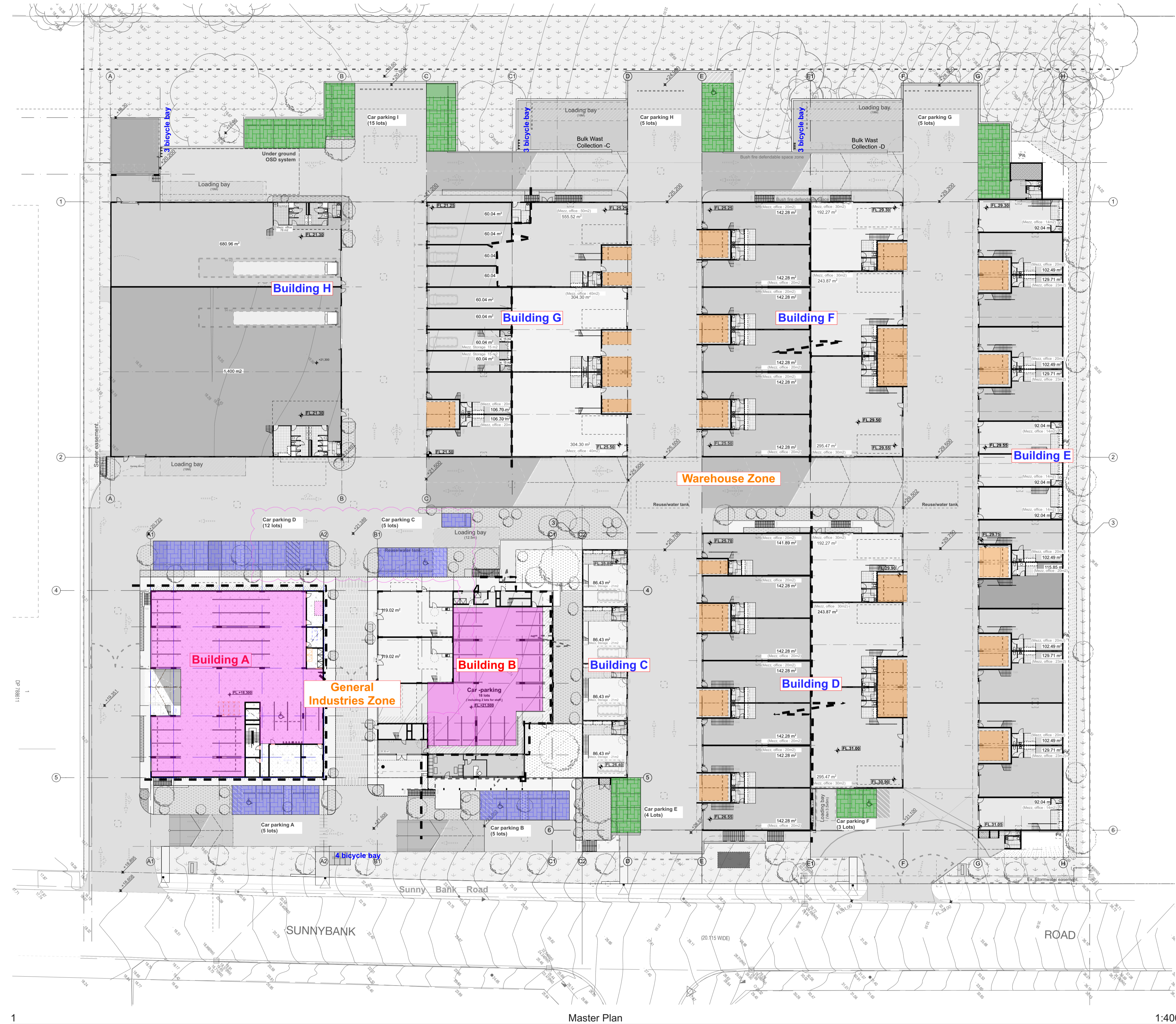
(WB) : Warehouse unit B  
 Warehouse (304m2) area at ground level  
 Office (40m2) at first floor level  
**Total floor area: 344 m2**  
 ( 3 lot car parking )

(WC) : Warehouse unit C  
 Warehouse (551 m2) area at ground level  
 Office (50m2) at first floor level  
**Total floor area: 601 m2**  
 ( 4 lot car parking )

(WD) : Warehouse unit D  
 Warehouse (685 m2) area at ground level  
 Office (78m2) at first floor level  
**Total floor area: 763m2**  
 ( 4 lot car parking )

(WE) : Warehouse unit E  
 Warehouse (1400 m2) area at ground level  
 Office (126 m2) at first floor level  
**Total floor area: 1526 m2**  
 ( 10 lot car parking )





Master Plan

1:400

**Legend : car parking layout schedule**

**General Industries Zone**

**Total space = 71 lots**  
*Inc. Accessible parking bay = 4 bay*  
*-Internal : 1 bays*  
*-External : 3 bays*

**Car Parking lot within buildings**  
**Building A : 26 lots**  
**Building B : 18 lots**  
**Total : 44 lots**

**External Car- Parking space**  
**Car parking A : 5 lots**  
**Car parking B : 5 lots**  
**Car parking C : 5 lots**  
**Car parking D : 12 lots**  
**Total : 27 lots**

**Bicycle space = 11 bay**  
*Internal : 7 bays*  
*External : 4 bays*

**Motorbike space = 4 bay**  
*Internal : 4 bays*

**Warehouse Zone**

**Total space = 75 lots**

*Inc. Accessible parking bay = 2 bay (External)*

**Car Parking lot within buildings**  
**Building D : 13 lots**  
**Building E : 10 lots**  
**Building F : 12 lots**  
**Building G : 8 lots**  
**Total : 43 lots**

**External Car- Parking space**  
**Car parking E : 4 lots**  
**Car parking F : 3 lots**  
**Car parking G : 5 lots**  
**Car parking H : 5 lots**  
**Car parking I : 15 lots**  
**Total : 32 lots**

**Bicycle space = 9 bay**  
*External : 9 bays*

**DEVELOPMENT YIELD**

**General Industrial Zone**

**Building A : Total area : (1,131 + 223) = 1,354 m<sup>2</sup>**  
 Type (CA) - 71 m<sup>2</sup> : 1 UNIT  
 (including store & cool-room : 24 m<sup>2</sup>)  
 Type (NS) - 87 m<sup>2</sup> : 1 UNIT  
 Type (GY) - 400 m<sup>2</sup> : 1 UNIT  
 Type (RES) - 114 m<sup>2</sup> : 1 UNIT  
 (including kitchen & store : 37 m<sup>2</sup>)  
 Type (UT-b) - 163 m<sup>2</sup> area : 1 UNIT  
 (including office area : 12 m<sup>2</sup>)  
 Type (UT-c) - 296 m<sup>2</sup> : 1 UNIT  
 (including office area : 12 m<sup>2</sup>)

**Total floor area : 1,131 m<sup>2</sup>**  
 -Storage area at mezzanine level :  
 Type (UT-b) - 75 m<sup>2</sup> : 1 UNIT  
 Type (UT-c) - 148 m<sup>2</sup> : 1 UNIT  
**Total area = 223 m<sup>2</sup>**

**Building B : Total area : (1,585 + 160) = 1,745 m<sup>2</sup>**  
 Type (Vet) - 416 m<sup>2</sup> : 1 UNIT  
 Type (UT-a) - 119 m<sup>2</sup> : 2 UNITS  
 (including office area for each units: 12 m<sup>2</sup>)  
 Total floor area = 238 m<sup>2</sup> : 1 UNIT  
 Type (ELC) - 892 m<sup>2</sup> : 1 UNIT  
 (consists of storage at ground (35m<sup>2</sup>), first (489m<sup>2</sup>) & second (368m<sup>2</sup>) floor area)  
 Management Office (MO) - 39 m<sup>2</sup> : 1 UNIT  
**Total floor area : 1,585m<sup>2</sup>**  
 -Storage area at mezzanine level :  
 Type (UT-a) - 80 m<sup>2</sup> : 2 UNIT  
 Total area = 160 m<sup>2</sup>

**Total area for General Industrial Zone (13 units) = 3,099**

- Detail area list for building usage for car parking calculation  
 - Industrial usage(TU) : 697 m<sup>2</sup> (inc. Office: 48 m<sup>2</sup>)  
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**Warehouse Zones**

**Building C : 4 UNITS : Total area : (344 + 84) = 428m<sup>2</sup>**  
 Type (BB-c) : 86 m<sup>2</sup> : 4 UNITS  
**Total warehouse area = 344m<sup>2</sup>**

- Storage area at mezzanine level :  
 Type (BB-c) : 21 m<sup>2</sup> : 4 UNITS  
**Total Storage area = 84 m<sup>2</sup>**

**Building D : 10 UNITS : Total area : (1725 + 230) = 1,955m<sup>2</sup>**  
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**Total warehouse area = 1,725m<sup>2</sup>**

- Office area at mezzanine level  
 Type (ET-a) : -20 m<sup>2</sup> : 7 UNITS  
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**Total area = 230m<sup>2</sup>**

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 Type (ET-a) : 102 m<sup>2</sup> : 5 UNITS  
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**Total warehouse area (ET,ET-a,ET-b & ET-d) = 1,606 m<sup>2</sup>**

- Office area at mezzanine level  
 Type (ET) : -14 m<sup>2</sup> : 5 UNITS  
 Type (ET-a) : -20 m<sup>2</sup> : 5 UNITS  
 Type (ET-b) : -23 m<sup>2</sup> : 4 UNITS  
 Type (ET-d) : -20 m<sup>2</sup> : 1 UNIT  
**Total office area = 282 m<sup>2</sup>**

**Building F : 9 UNITS : Total area : (1,583 + 210) = 1,793 m<sup>2</sup>**  
 Type (ET-c) : 142 m<sup>2</sup> : 6 UNITS  
 Type (WA1) : 192 m<sup>2</sup> : 1 UNIT  
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**Total warehouse area = 1,583m<sup>2</sup>**

- Office area at mezzanine level  
 Type (ET-a) : -20 m<sup>2</sup> : 6 UNITS  
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**Total area = 210m<sup>2</sup>**

**Building G : 13 UNITS : Total area : (1,378 + 480+ 170+ 30) = 2,058 m<sup>2</sup>**  
 Typical unit (WB) : 304 m<sup>2</sup> : 2 UNITS  
 Type (WC) : 556 m<sup>2</sup> : 1 UNIT  
 Type (ET-a) : 107 m<sup>2</sup> : 2 UNITS  
**Total warehouse area (WB,WC, & ET-a) = 1,378 m<sup>2</sup>**

Type (BB) : -60 m<sup>2</sup> : 4 UNITS (storage use)  
 Type (BB-a) : -60 m<sup>2</sup> : 2 UNITS (storage use)  
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**Total storage area (BB,BB-a & BB-b) = 480 m<sup>2</sup>**

- Office area at mezzanine level  
 Type (WB) : 40 m<sup>2</sup> : 2 UNITS  
 Type (WC) : 50 m<sup>2</sup> : 1 UNIT  
 Type (ET-a) : 20 m<sup>2</sup> : 2 UNITS  
**Total area = 170m<sup>2</sup>**

- Storage area at mezzanine level :  
 Type (BB-b) : -15m<sup>2</sup> : 2 UNITS  
**Total area = 30m<sup>2</sup>**

**Building H : 2 UNITS : Total area : (2,081+ 204) = 2,285 m<sup>2</sup>**  
 Type (WE) : -1,400 m<sup>2</sup> : 1 UNIT  
 Type (WD) : -681 m<sup>2</sup> : 1 UNIT  
**Total warehouse area = 2,081m<sup>2</sup>**  
 -Office area at mezzanine level :  
 Type (WE) : -126 m<sup>2</sup> : 1 UNIT  
 Type (WD) : -78 m<sup>2</sup> : 1 UNIT  
**Total area = 204 m<sup>2</sup>**

**Total area for warehouse Zones (53 units) = 10,407m<sup>2</sup>**

- Detail area list for building usage for car parking calculation  
 - Warehouse usage : 8,717 m<sup>2</sup>  
 - Office usage area : 1096 m<sup>2</sup>  
 - Storage usage area : 594 m<sup>2</sup>

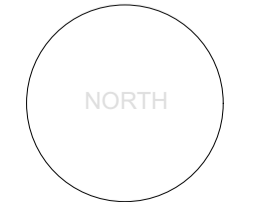
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01	10.01.20	Issue for consultation coordination.
02	10.03.20	Issue for consultation coordination.
03	04.04.20	Issue for consultation coordination.
04	04.06.20	Issue for final coordination.
05	24.06.20	Issue for DA submission.
06	28.09.20	Issue for DA Resub.

No	DATE	AMENDMENT

PROJECT  
**PROPOSED MIXED USE LIGHT INDUSTRIAL PARK DEVELOPMENT**  
 SITE:  
**27 Sunny Bank Road, Lisarow, NSW  
 Lot 1, DP 880254**  
 CLIENT:  
**Palladium Property Services Pty Ltd**

BHI ARCHITECTS PTY LTD  
 SYDNEY  
 Suite 3 1077 Dunning Avenue,  
 Rosebery NSW Australia 2018  
 T: +61 (0)2 9313 7800  
 WOLLONGONG  
 KIAMA  
 4125 Terralong Street,  
 Kiama, NSW, AUSTRALIA, 2533  
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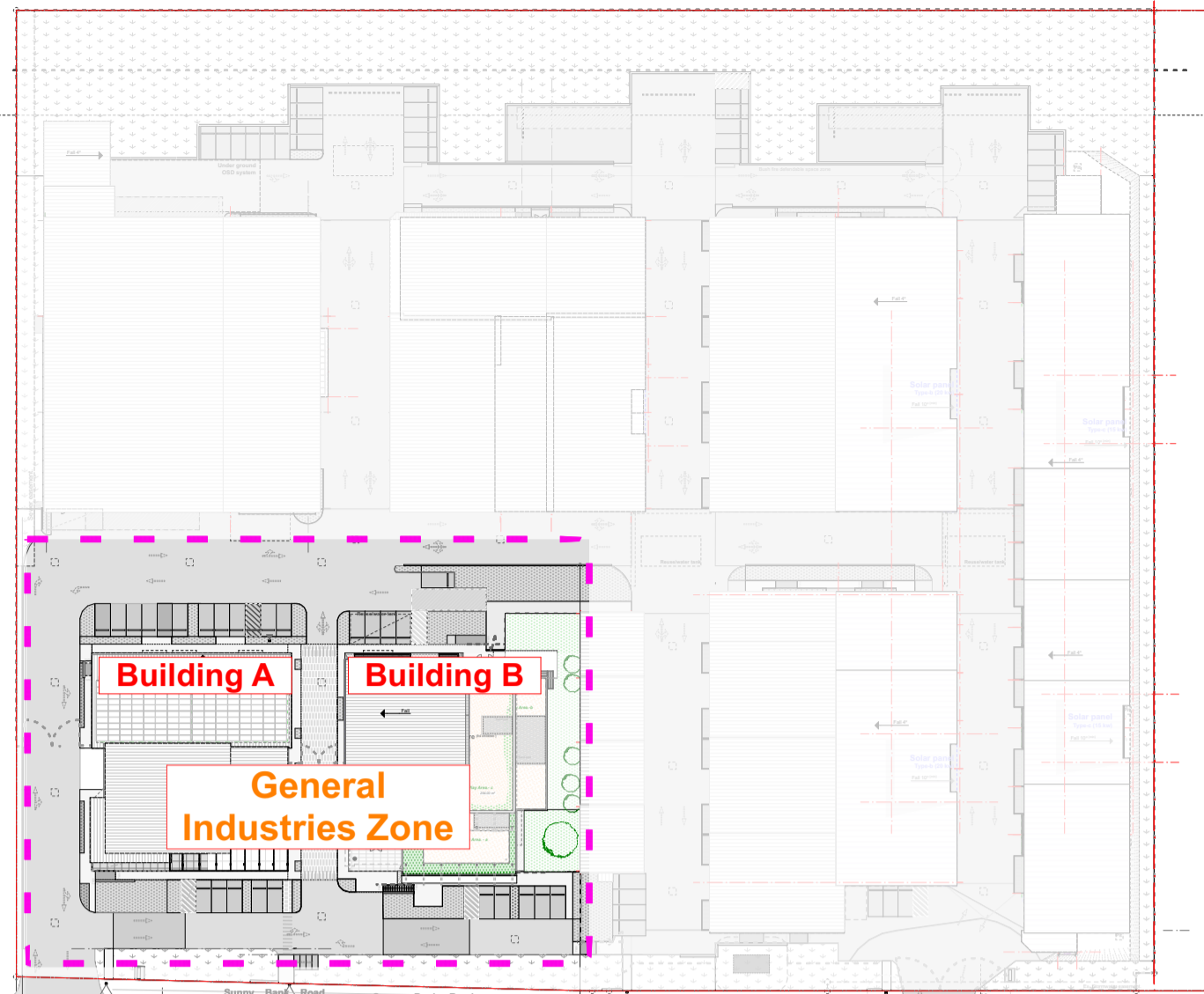
DRAWING TITLE: **Car parking Schedule** STATUS: **DA**  
 DRAWN: **JK** CHKD: **MH** DATE: **1/10/20** SCALE: **@A1**  
 PROJECT NO: **8756** DRAWING NO: **A.1003** **06**



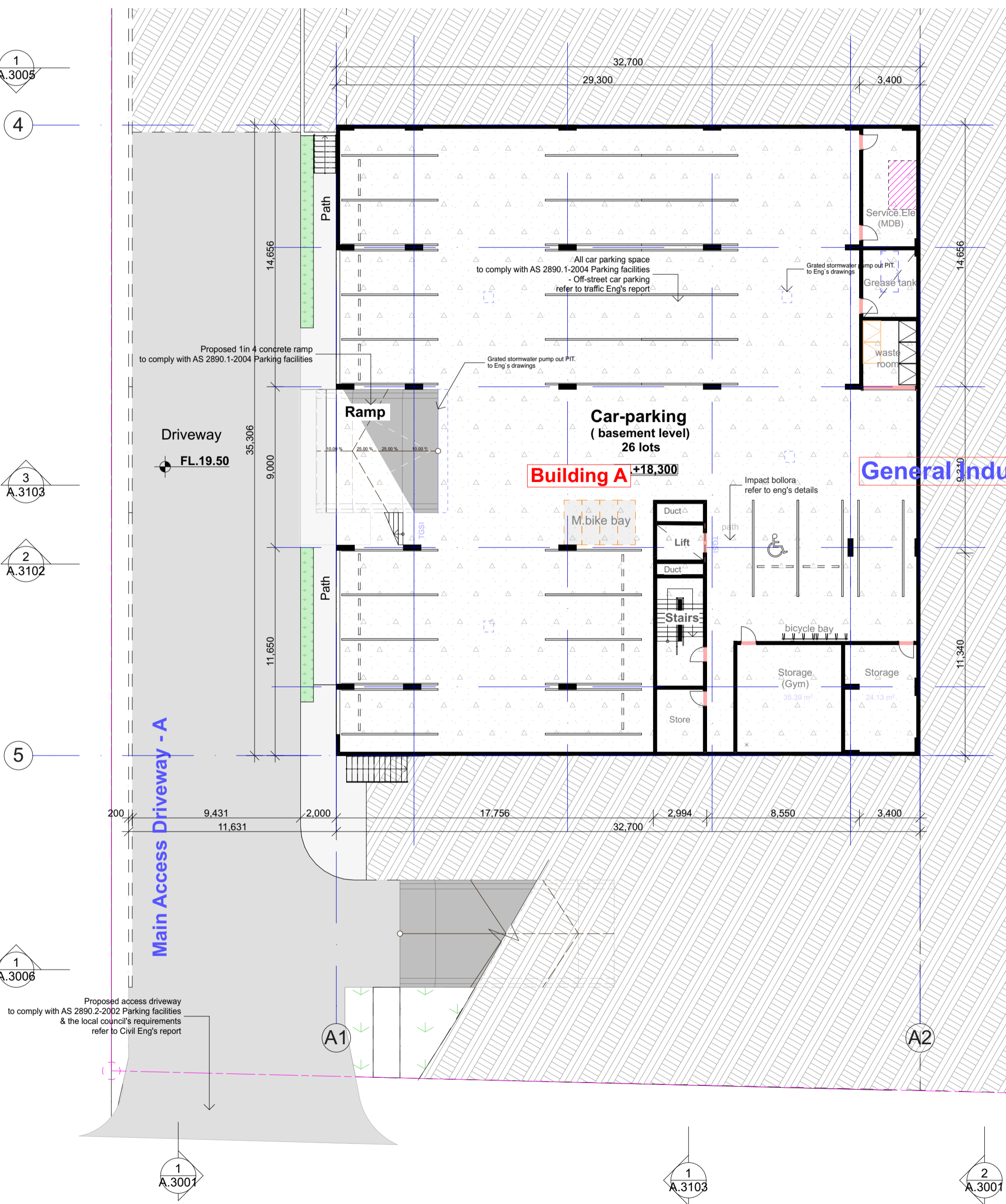
**COLOUR SCHEDULE LEGEND FOR UNIT TYPES.**

**General Industrial Zone**

- (CA) : Cafe (Street accessible)  
Dining (47m<sup>2</sup>) & kitchen (24 m<sup>2</sup>) area at ground floor level  
Total floor area : 71m<sup>2</sup>
- (Res) : Restaurant (Street accessible)  
Dining (77m<sup>2</sup>) & kitchen (37 m<sup>2</sup>) area at ground floor level  
Total floor area : 114 m<sup>2</sup>
- (TU-a) : General Industry unit (Street accessible)  
Unit floor (119 m<sup>2</sup>) area at ground level  
Storage (80m<sup>2</sup>) area at Mezz. floor level  
Total floor area : 199 m<sup>2</sup>
- (TU-b) : General Industry unit (Street accessible)  
Unit floor (163 m<sup>2</sup>) area at ground level  
Storage (75m<sup>2</sup>) area at Mezz. floor level  
Total floor area : 238 m<sup>2</sup>
- (TU-c) : General Industry unit (Street accessible)  
Unit floor (296 m<sup>2</sup>) area at ground level  
Storage (148m<sup>2</sup>) area at Mezz. floor level  
Total floor area : 444 m<sup>2</sup>
- (NS) : Neighbourhood Shop (Street accessible)  
Total floor area : 87m<sup>2</sup>
- (GY) : Gym / Sport activity centre (at first floor level)  
(24 hour accessible Gymnasium )  
Total floor area : 400 m<sup>2</sup> area
- (ELC) : Early Learning Centre (90 Licensed@ with with 710m<sup>2</sup> outdoor play)  
(Basement car-parking space)  
First floor (489 m<sup>2</sup>) & second floor (368 m<sup>2</sup>) area  
Total floor area : 892 m<sup>2</sup>
- (Vet) : Veterinary Hospital (Street accessible)  
Total floor area : 416 m<sup>2</sup>
- (MO) : Service Management Office  
Total floor area : 39 m<sup>2</sup>

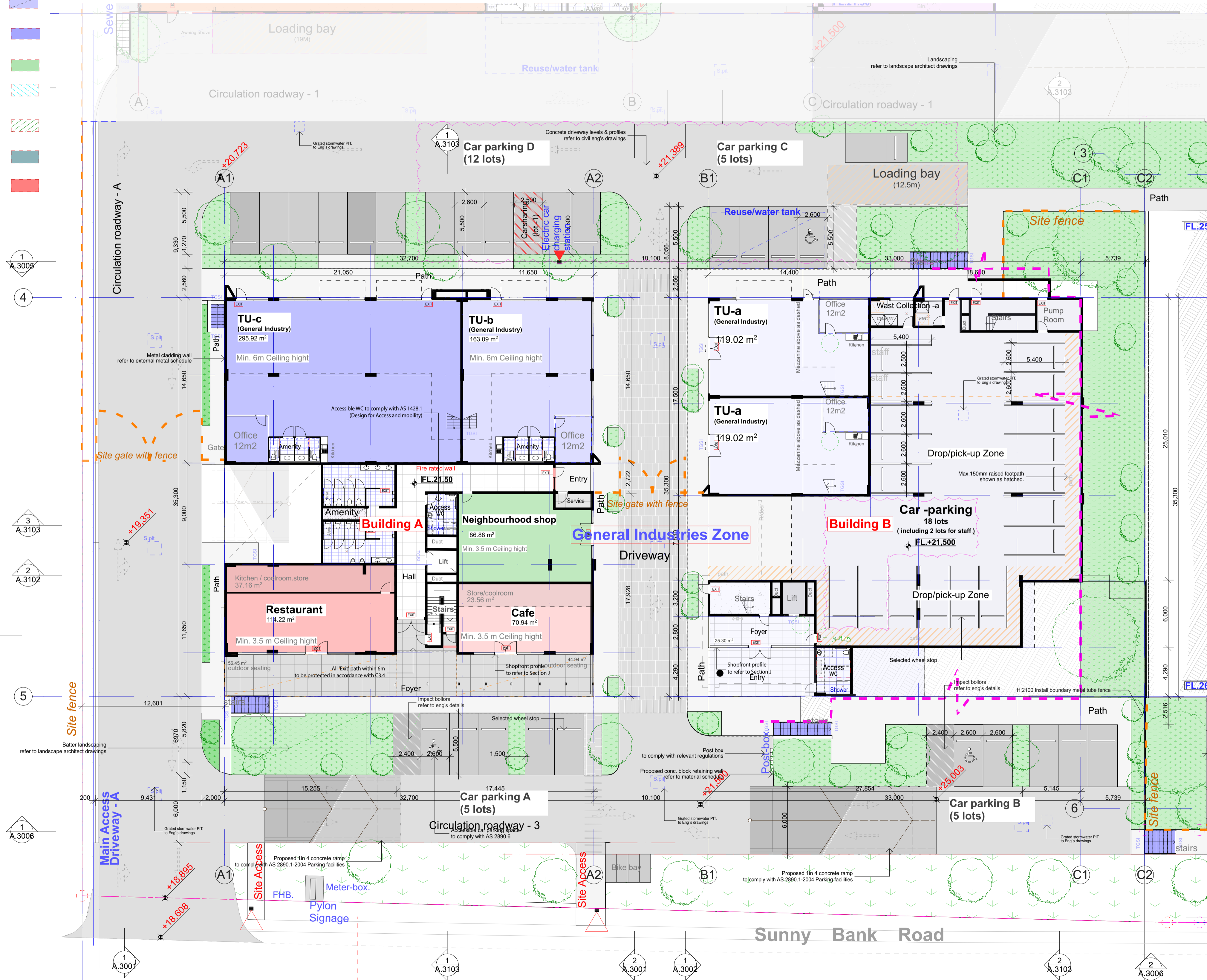


**Key Site Plan.**



**Basement Floor Layout (Building A)**

1:200 2



**Ground Floor Layout (Building A&B)**

1:200

**NOTE:**  
1. TIMBER FRAMING AND WIND BRACING TO COMPLY WITH AS1684 AND TO NSW TIMBER FRAMING MANUAL AMENDED TO SUIT WIND TERNAN CATEGORY.  
2. PROVIDE CERTIFIED TERMITE BARRIERS SYSTEM TO AS 3660.  
3. SELECTED WINDOWS AND DOORS TO BUT DESIGNATED WIND TERNAN CATEGORY.  
4. ALL SITE CONDITIONS INCLUDING LEVELS TO BE CONFIRMED, AND ANY DISCREPANCIES TO BE REFERRED TO ARCHITECT PRIOR TO COMMENCEMENT.  
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No	DATE	AMENDMENT

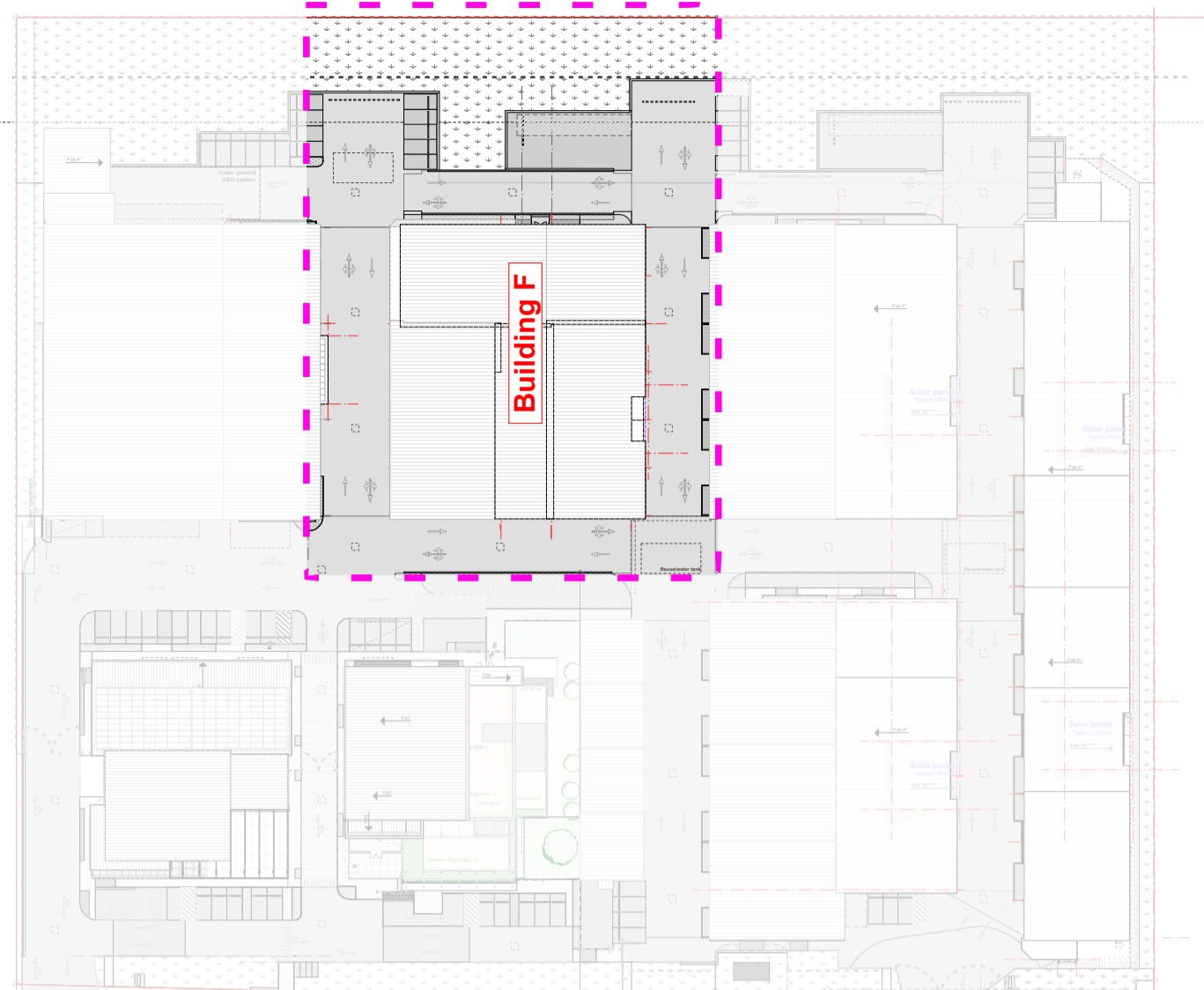
**PROJECT**  
PROPOSED MIXED USE LIGHT INDUSTRIAL PARK DEVELOPMENT  
**SITE:**  
27 Sunny Bank Road, Lisarow, NSW  
Lot 1, DP 880254  
**CLIENT:**  
Palladium Property Services Pty Ltd

**BHI ARCHITECTS PTY LTD**  
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**WOLLONGONG**  
KIAMA  
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Kiama, NSW, AUSTRALIA, 2533  
T: +61 2 4232 2125



**DRAWING TITLE:**  
Floor Plans (General Industries Zone)  
**STATUS:** DA  
**SCALE:** @A1  
**DATE:** 1/10/20  
**DRAWING NO.:** A.2001  
**PROJECT NO.:** 8756  
**06**



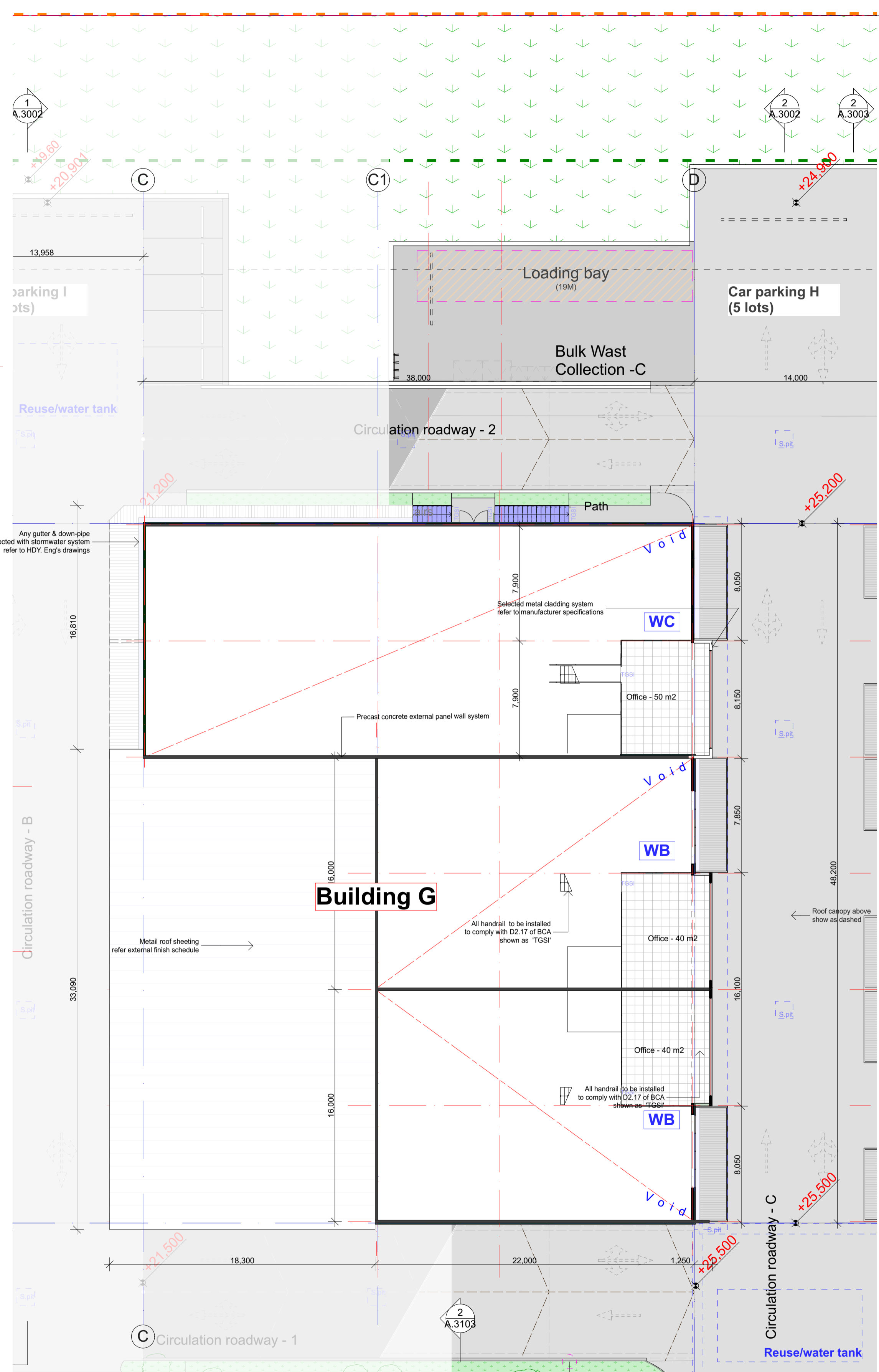


Key Site Plan.

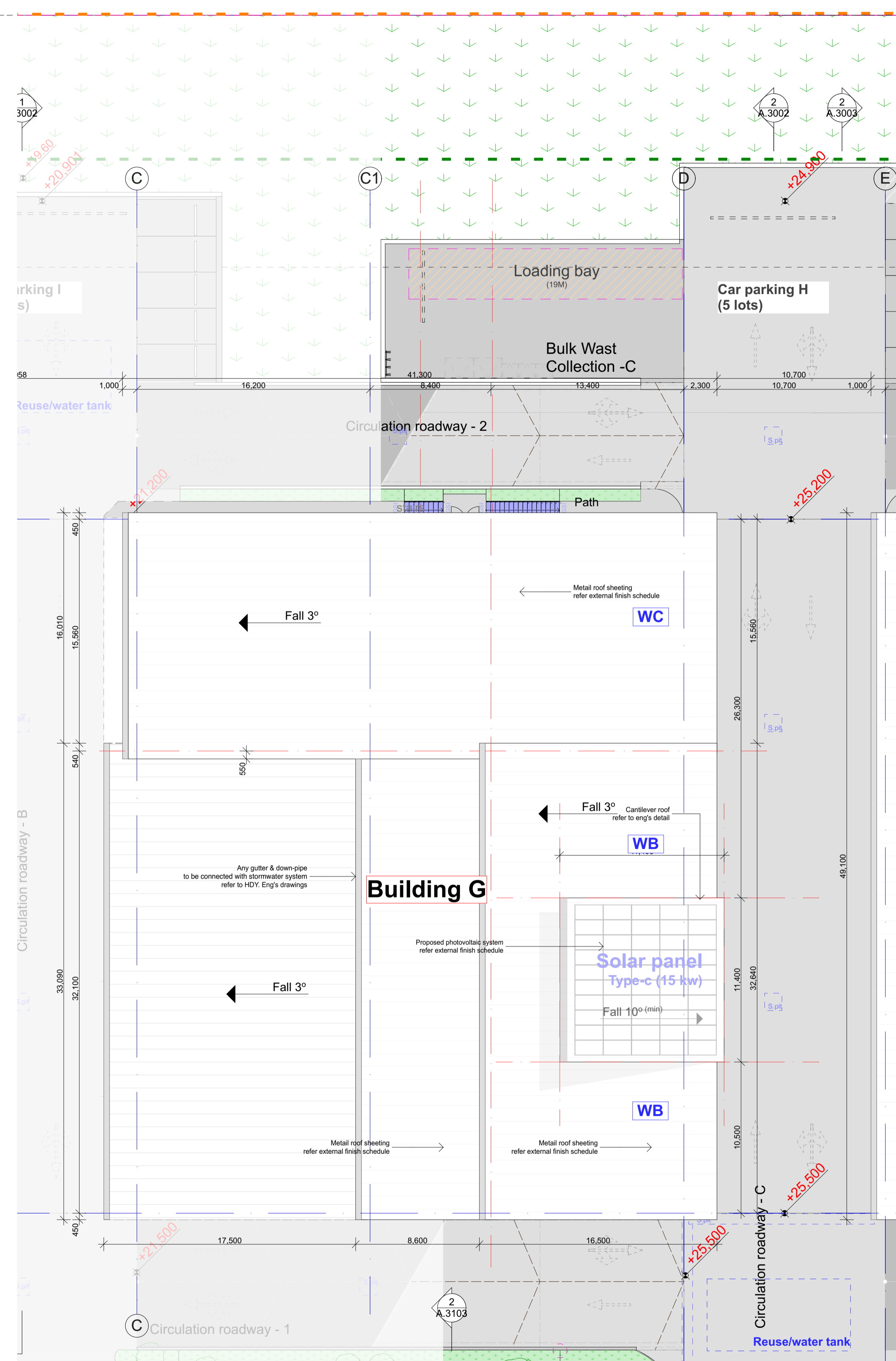
**COLOUR SCHEDULE LEGEND FOR UNIT TYPES.**

**Warehouse zones**

- (BB) : **Butter Boxes (storage unit)**  
self-storage units ( 60m<sup>2</sup>) area at ground level  
Total floor area: 60 m<sup>2</sup>
- (BB-a) : **Butter Boxes (storage unit)**  
self-storage units ( 60m<sup>2</sup>) area at ground level  
Total floor area: 60 m<sup>2</sup>  
( Min. 5.3M Ceiling height )
- (BB-b) : **Butter Boxes (storage unit)**  
self-storage units ( 60m<sup>2</sup>) area at ground level  
Storage (15m<sup>2</sup>) at Mezz. floor level  
Total floor area: 75 m<sup>2</sup>  
( Wet area / Min. 5.3M Ceiling height )
- (BB-c) : **Butter Boxes (storage unit)**  
self-storage units ( 86m<sup>2</sup>) area at ground level  
Storage (21m<sup>2</sup>) at Mezz. floor level  
Total floor area: 107 m<sup>2</sup>  
( 1 lot of car parking / Wet area / Min. 4.5M Ceiling height )
- (ET) : **Enterprise unit (warehouse)**  
Warehouse ( 92m<sup>2</sup>) area at ground level  
Office (14m<sup>2</sup>) at first floor level  
Total floor area: 106 m<sup>2</sup>  
( 1 lot car parking )
- (ET-a) : **Enterprise unit (warehouse)**  
Warehouse ( 102m<sup>2</sup>) area at ground level  
Office (20m<sup>2</sup>) at first floor level  
Total floor area: 122 m<sup>2</sup>  
( 1 lot car parking )
- (ET-b) : **Enterprise unit (warehouse)**  
Warehouse ( 130 m<sup>2</sup>) area at ground level  
Office (23m<sup>2</sup>) at first floor level  
Total floor area: 153 m<sup>2</sup>  
( 1 lot car parking )
- (ET-c) : **Enterprise unit (warehouse)**  
Warehouse ( 142m<sup>2</sup>) area at ground level  
Office (20m<sup>2</sup>) at first floor level  
Total floor area: 162 m<sup>2</sup>  
( 1 lot car parking )
- (ET-d) : **Enterprise unit (warehouse)**  
Warehouse ( 116 m<sup>2</sup>) area at ground level  
Office ( 20m<sup>2</sup>) at first floor level  
Total floor area: 136 m<sup>2</sup>  
( 1 lot car parking )
- (WB) : **Warehouse unit B**  
Warehouse ( 304m<sup>2</sup>) area at ground level  
Office (40m<sup>2</sup>) at first floor level  
Total floor area: 344 m<sup>2</sup>  
( 3 lot car parking )
- (WC) : **Warehouse unit C**  
Warehouse ( 551 m<sup>2</sup>) area at ground level  
Office (50m<sup>2</sup>) at first floor level  
Total floor area: 601 m<sup>2</sup>  
( 4 lot car parking )
- (WD) : **Warehouse unit D**  
Warehouse ( 685 m<sup>2</sup>) area at ground level  
Office (78m<sup>2</sup>) at first floor level  
Total floor area: 763m<sup>2</sup>  
( 4 lot car parking )
- (WE) : **Warehouse unit E**  
Warehouse ( 1400 m<sup>2</sup>) area at ground level  
Office ( 126 m<sup>2</sup>) at first floor level  
Total floor area: 1526 m<sup>2</sup>  
( 10 lot car parking )



**1 Mezzanine Floor Layout (Building G) 1:200**



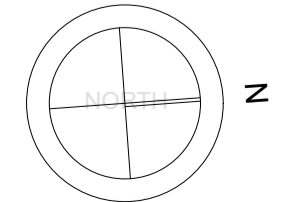
**2 Roof Layout (Building G) 1:200**

NOTE:  
 1. TIMBER FRAMING AND WIND BRACING TO COMPLY WITH AS1518 AND TO NSW TIMBER FRAMING MANUAL AMENDED TO SUIT WIND TERRAIN CATEGORY 2.  
 2. PROVIDE CERTIFIED TERMITE BARRIERS SYSTEM TO AS 3600.  
 3. SELECTED WINDOWS AND DOORS TO SUIT DESIGNATED WIND TERRAIN CATEGORY.  
 4. ALL SITE CONDITIONS INCLUDING LEVELS TO BE CONFIRMED, AND ANY DISCREPANCIES TO BE REFERRED TO ARCHITECT PRIOR TO COMMENCEMENT.  
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05	24.06.20	Issue for DA submission.

No	DATE	AMENDMENT

PROJECT  
**PROPOSED MIXED USE LIGHT INDUSTRIAL PARK DEVELOPMENT**  
 SITE:  
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 Lot 1, DP 880254**  
 CLIENT:  
**Palladium Property Services Pty Ltd**

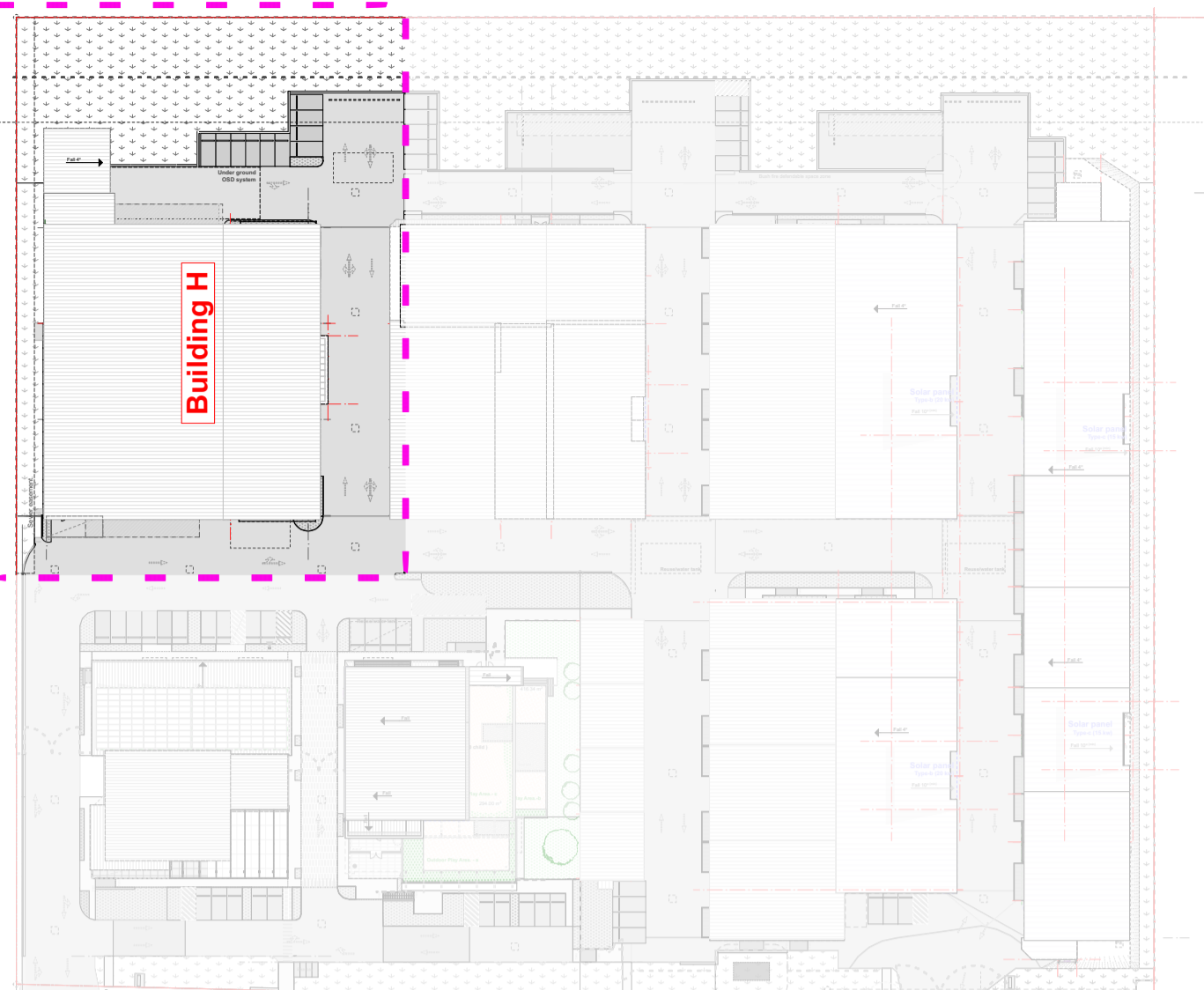


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 41/25 Terralong Street,  
 Kiama, NSW, AUSTRALIA, 2533  
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DRAWING TITLE: **Floor Plans (Building G / Warehouse Zone)**  
 DRAWN: JK  
 CHKD: MH  
 DATE: 3/7/20  
 PROJECT NO.: 8756  
 STATUS: **DA**  
 SCALE: @A1  
 1:200  
 DRAWING NO.: **A.2013**  
**05**



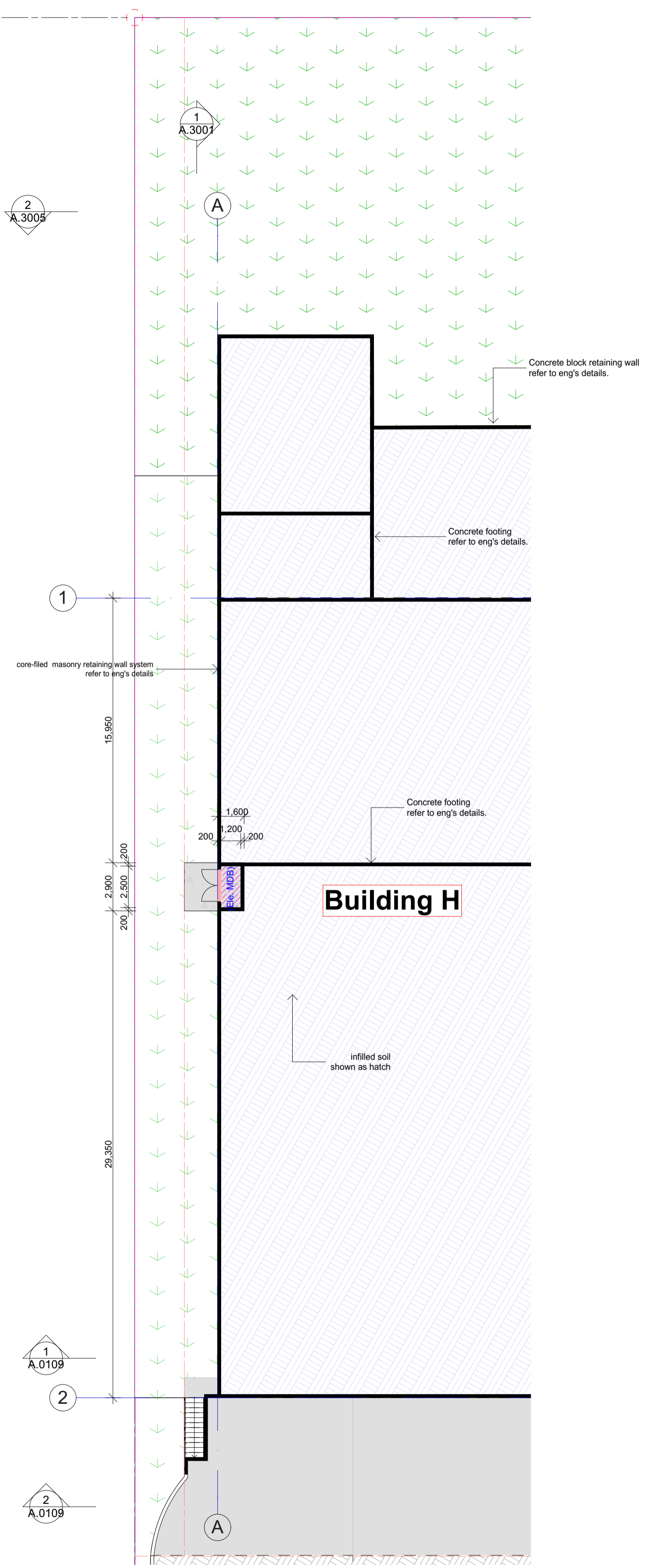


Key Site Plan.

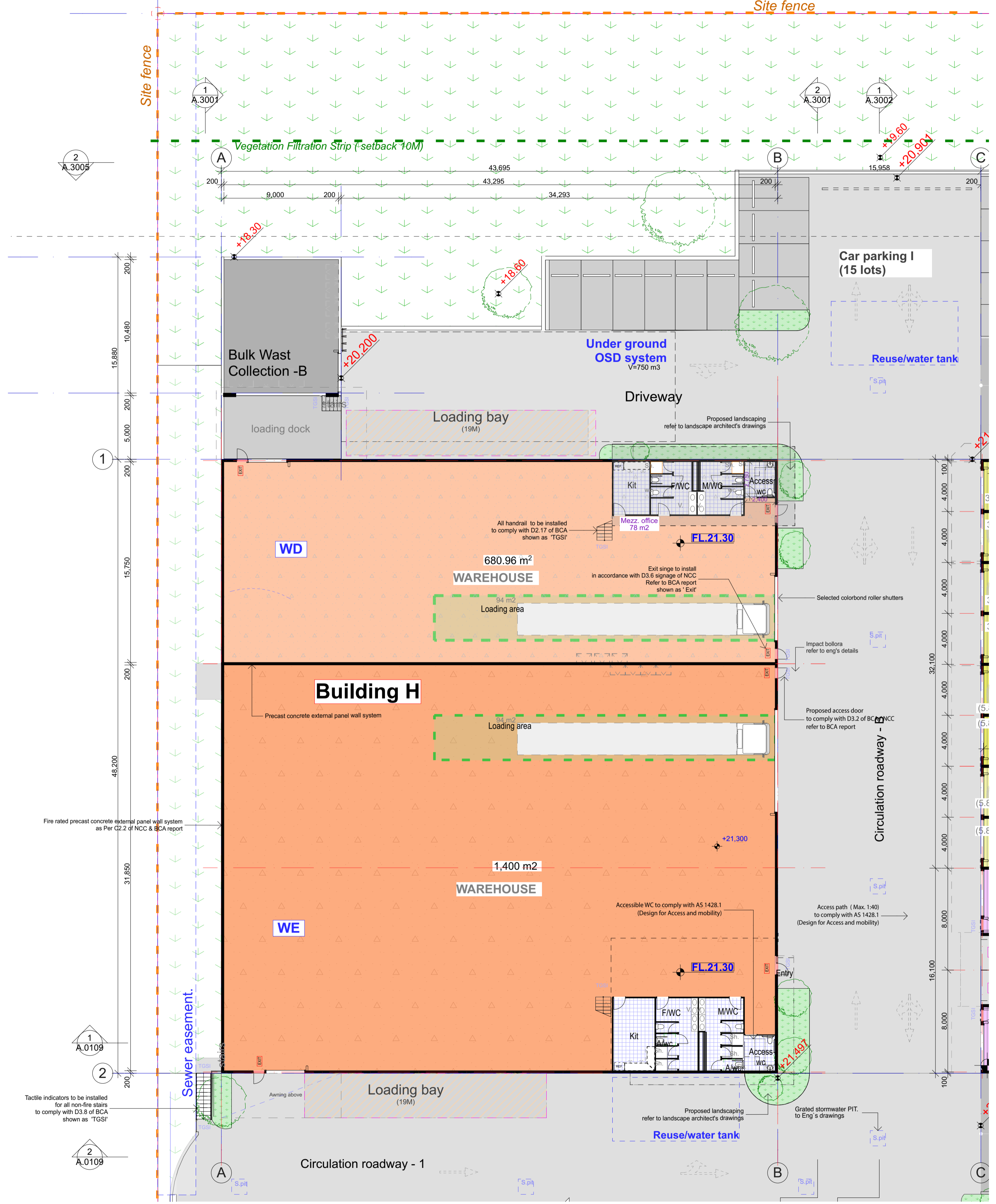
**COLOUR SCHEDULE LEGEND FOR UNIT TYPES.**

**Warehouse zones**

- (WB) : Warehouse unit B  
Warehouse (304m<sup>2</sup>) area at ground level  
Office (40m<sup>2</sup>) at first floor level  
Total floor area: 344 m<sup>2</sup>  
(3 lot car parking)
- (WC) : Warehouse unit C  
Warehouse (551 m<sup>2</sup>) area at ground level  
Office (50m<sup>2</sup>) at first floor level  
Total floor area: 601 m<sup>2</sup>  
(4 lot car parking)
- (WD) : Warehouse unit D  
Warehouse (685 m<sup>2</sup>) area at ground level  
Office (78m<sup>2</sup>) at first floor level  
Total floor area: 763m<sup>2</sup>  
(4 lot car parking)
- (WE) : Warehouse unit E  
Warehouse (1400 m<sup>2</sup>) area at ground level  
Office (126 m<sup>2</sup>) at first floor level  
Total floor area: 1526 m<sup>2</sup>  
(10 lot car parking)



**1 Below level Layout (Building H) 1:200**



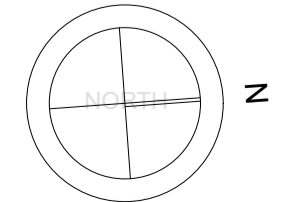
**2 Ground Floor Layout (Building H) 1:200**

NOTE:  
 1. TIMBER FRAMING AND WIND BRACING TO COMPLY WITH AS1684 AND TO NSW TIMBER FRAMING MANUAL AMENDED TO SUIT WIND TERRAIN CATEGORY 2.  
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05	24.06.20	Issue for DA submission.

No	DATE	AMENDMENT

PROJECT  
**PROPOSED MIXED USE LIGHT INDUSTRIAL PARK DEVELOPMENT**  
 SITE:  
**27 Sunny Bank Road, Lisarow, NSW  
 Lot 1, DP 880254**  
 CLIENT:  
**Palladium Property Services Pty Ltd**

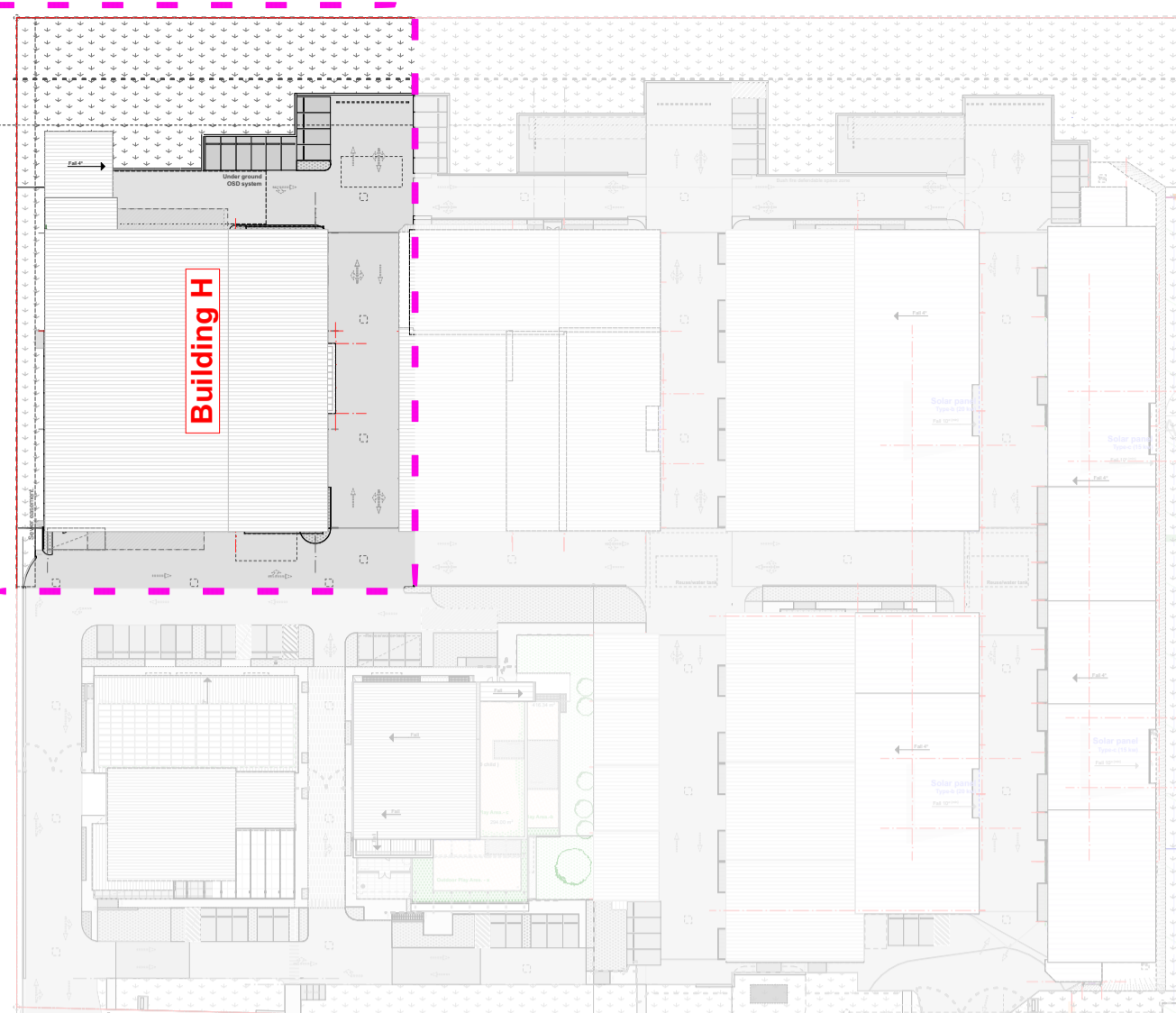


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DRAWING TITLE:  
**Floor Plans (Building H / Warehouse Zone)**  
 DRAWN: JK  
 CHKD: MH  
 DATE: 3/7/20  
 PROJECT NO.: 8756  
 STATUS: DA  
 SCALE: @A1  
 1:200  
 DRAWING NO.: A.2014  
 05





Key Site Plan.

**COLOUR SCHEDULE LEGEND FOR UNIT TYPES.**

**Warehouse zones**

- (WB) : Warehouse unit B  
Warehouse (304m<sup>2</sup>) area at ground level  
Office (40m<sup>2</sup>) at first floor level  
Total floor area: 344 m<sup>2</sup>  
(3 lot car parking)
- (WC) : Warehouse unit C  
Warehouse (551 m<sup>2</sup>) area at ground level  
Office (50m<sup>2</sup>) at first floor level  
Total floor area: 601 m<sup>2</sup>  
(4 lot car parking)
- (WD) : Warehouse unit D  
Warehouse (685 m<sup>2</sup>) area at ground level  
Office (78m<sup>2</sup>) at first floor level  
Total floor area: 763m<sup>2</sup>  
(4 lot car parking)
- (WE) : Warehouse unit E  
Warehouse (1400 m<sup>2</sup>) area at ground level  
Office (126 m<sup>2</sup>) at first floor level  
Total floor area: 1526 m<sup>2</sup>  
(10 lot car parking)

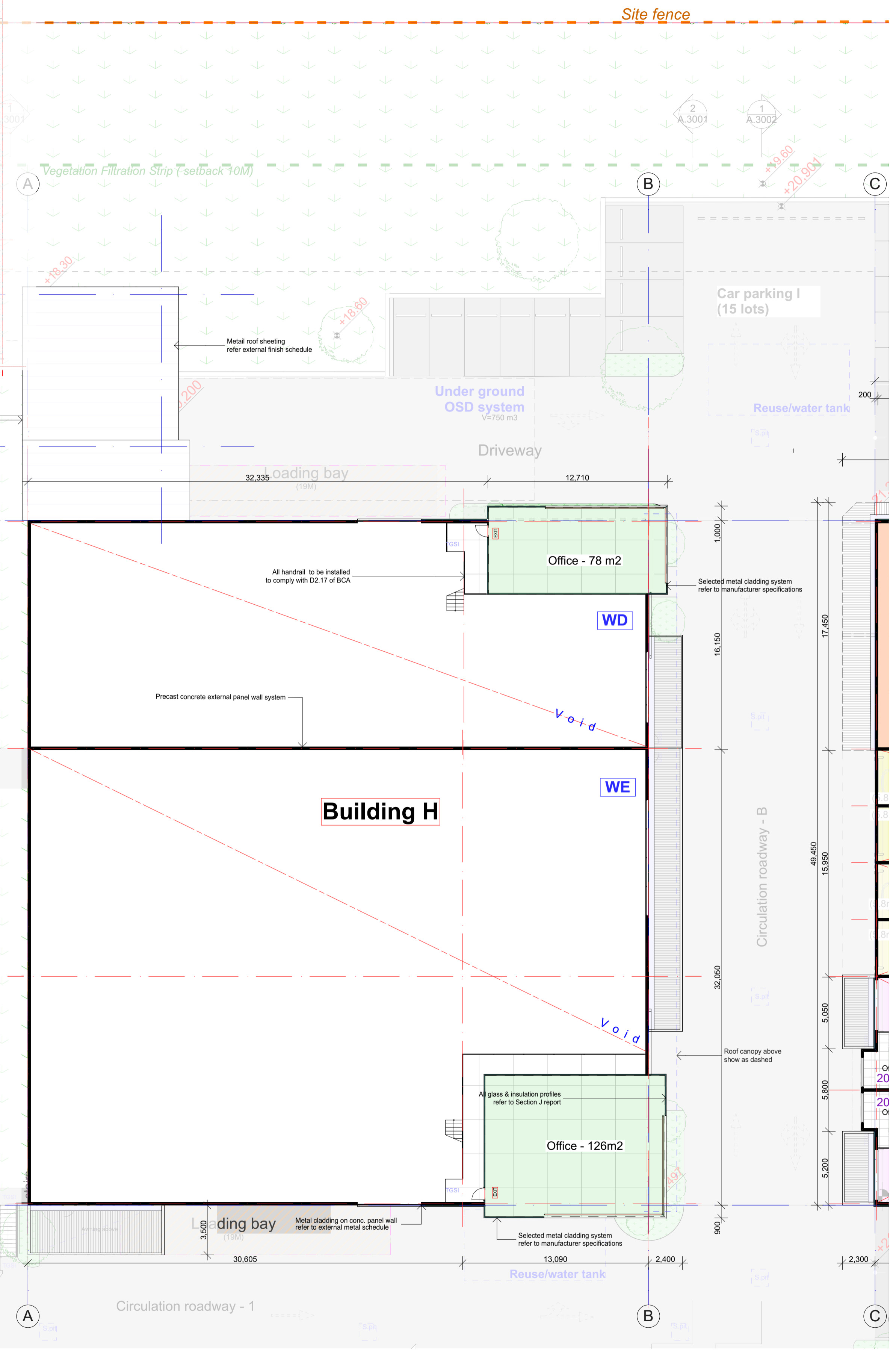
Any gutter & down-pipe to be connected with stormwater system refer to HDY, Eng's drawings

1

1  
A.0109

2

2  
A.0109



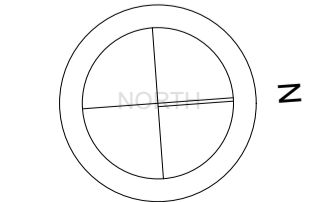
**1 Mezzanine Floor Layout (Building H) 1:200**

NOTE:  
1. TIMBER FRAMING AND WIND BRACING TO COMPLY WITH AS1684 AND TO NSW TIMBER FRAMING MANUAL AMENDED TO SUIT WIND TERRAIN CATEGORY 2.  
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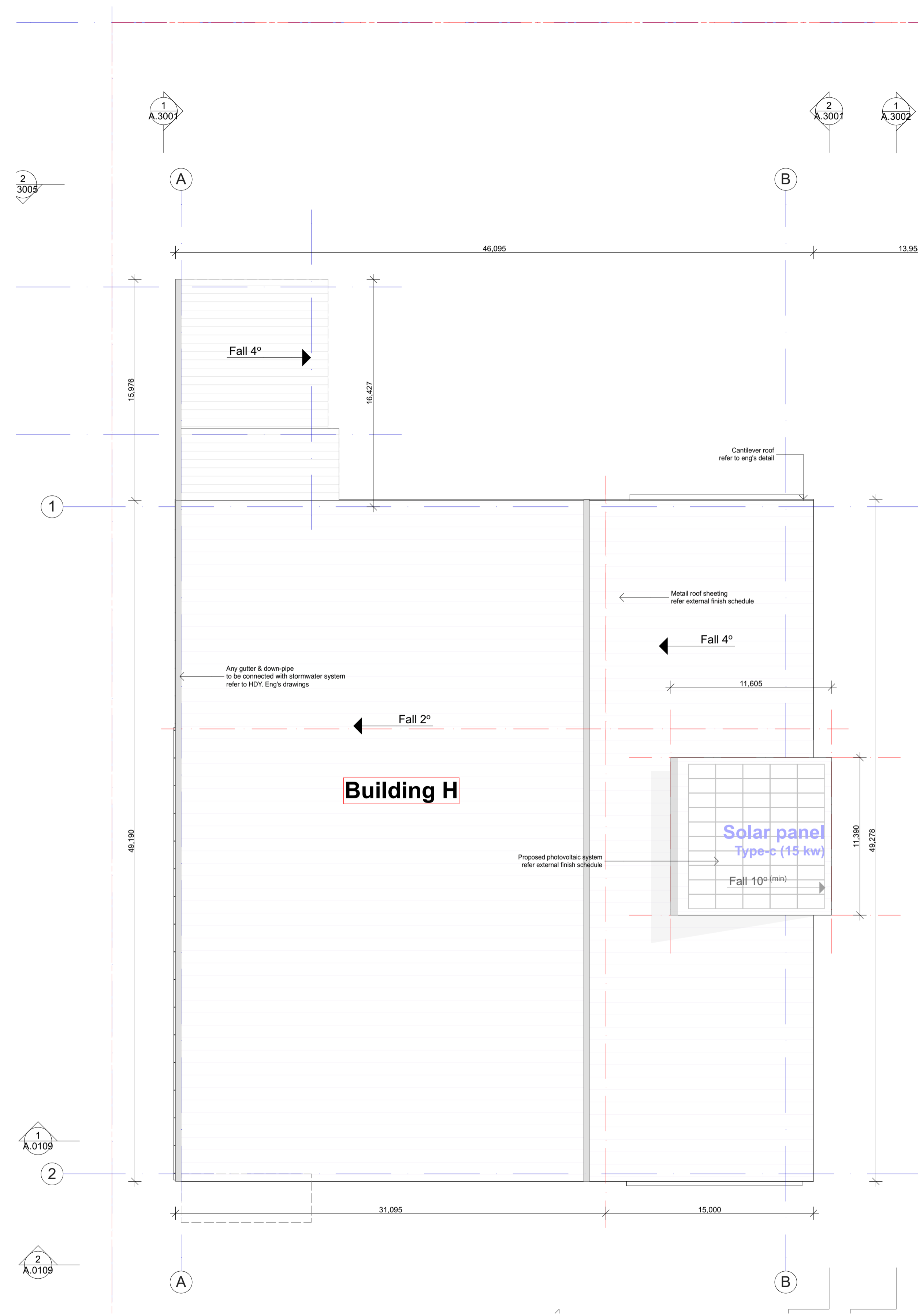
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No	DATE	AMENDMENT

PROJECT  
**PROPOSED MIXED USE LIGHT INDUSTRIAL PARK DEVELOPMENT**  
SITE:  
**27 Sunny Bank Road, Lisarow, NSW  
Lot 1, DP 880254**  
CLIENT:  
**Palladium Property Services Pty Ltd**



**2 Roof Layout (Building H) 1:200**



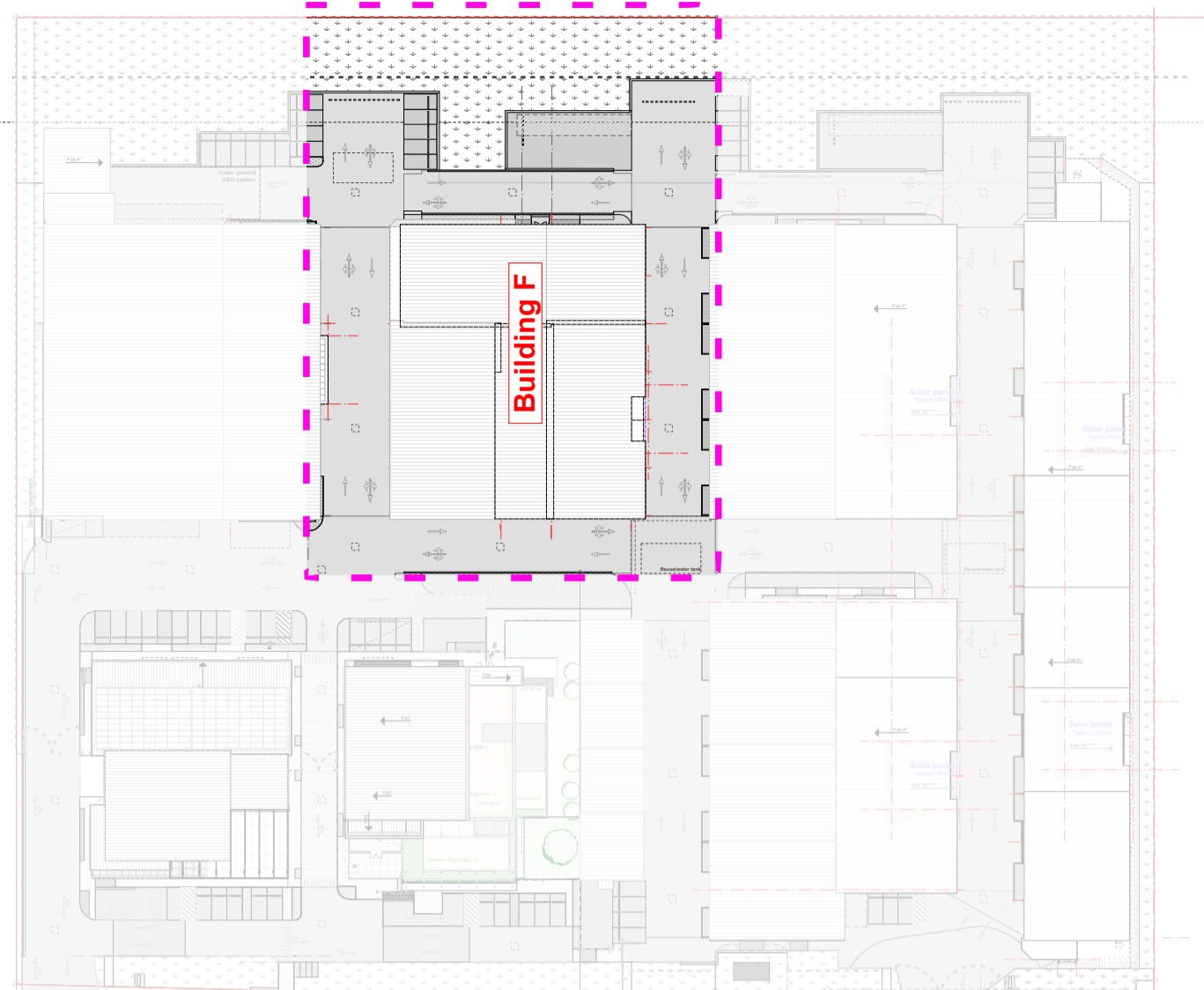
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DRAWING TITLE:  
**Floor Plans (Building H / Warehouse Zone)**  
DRAWN: JK  
CHKD: MH  
DATE: 3/7/20  
PROJECT NO.: 8756

STATUS: **DA**  
SCALE: @A1  
1:200  
DRAWING NO.: **05**





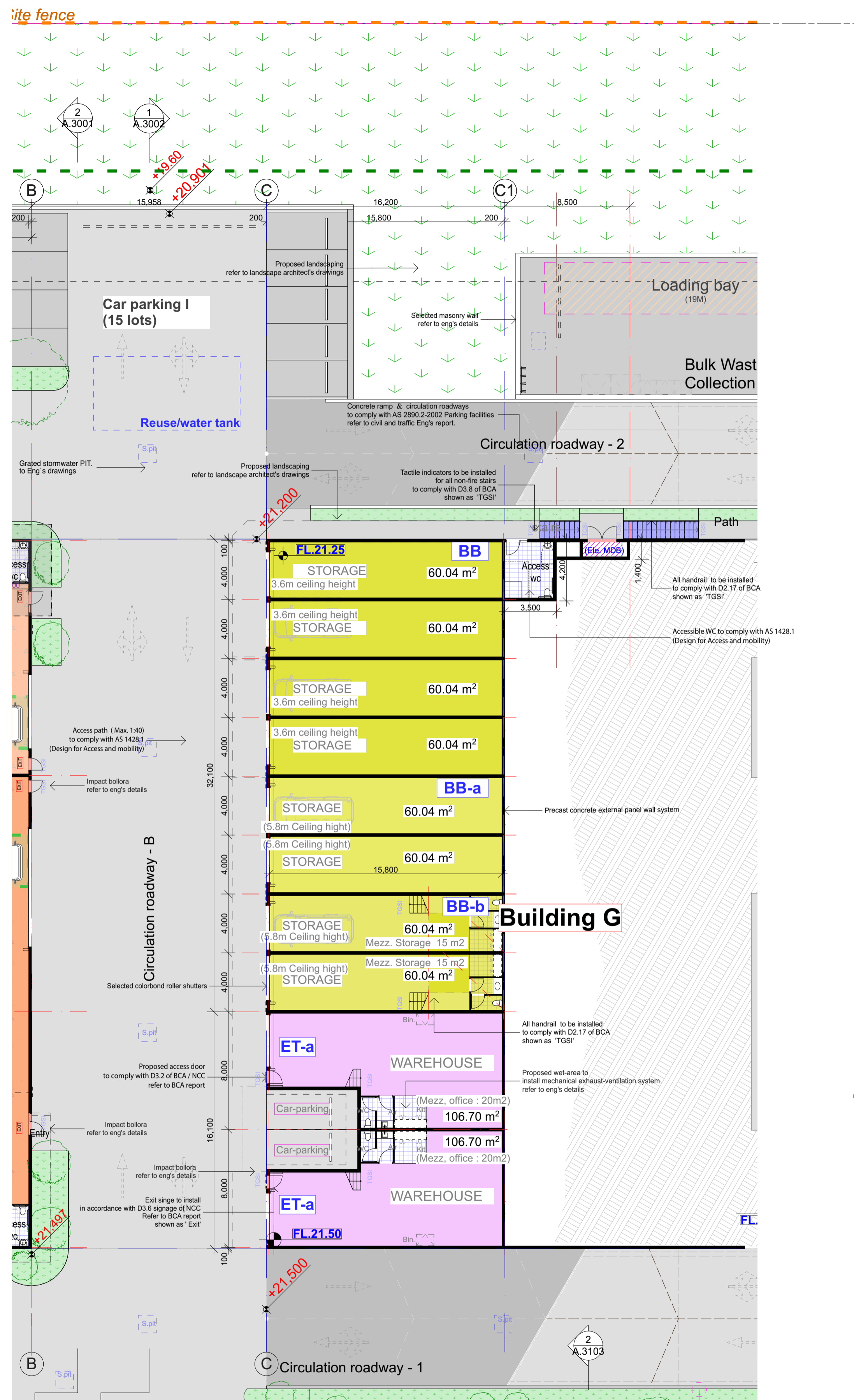


Key Site Plan.

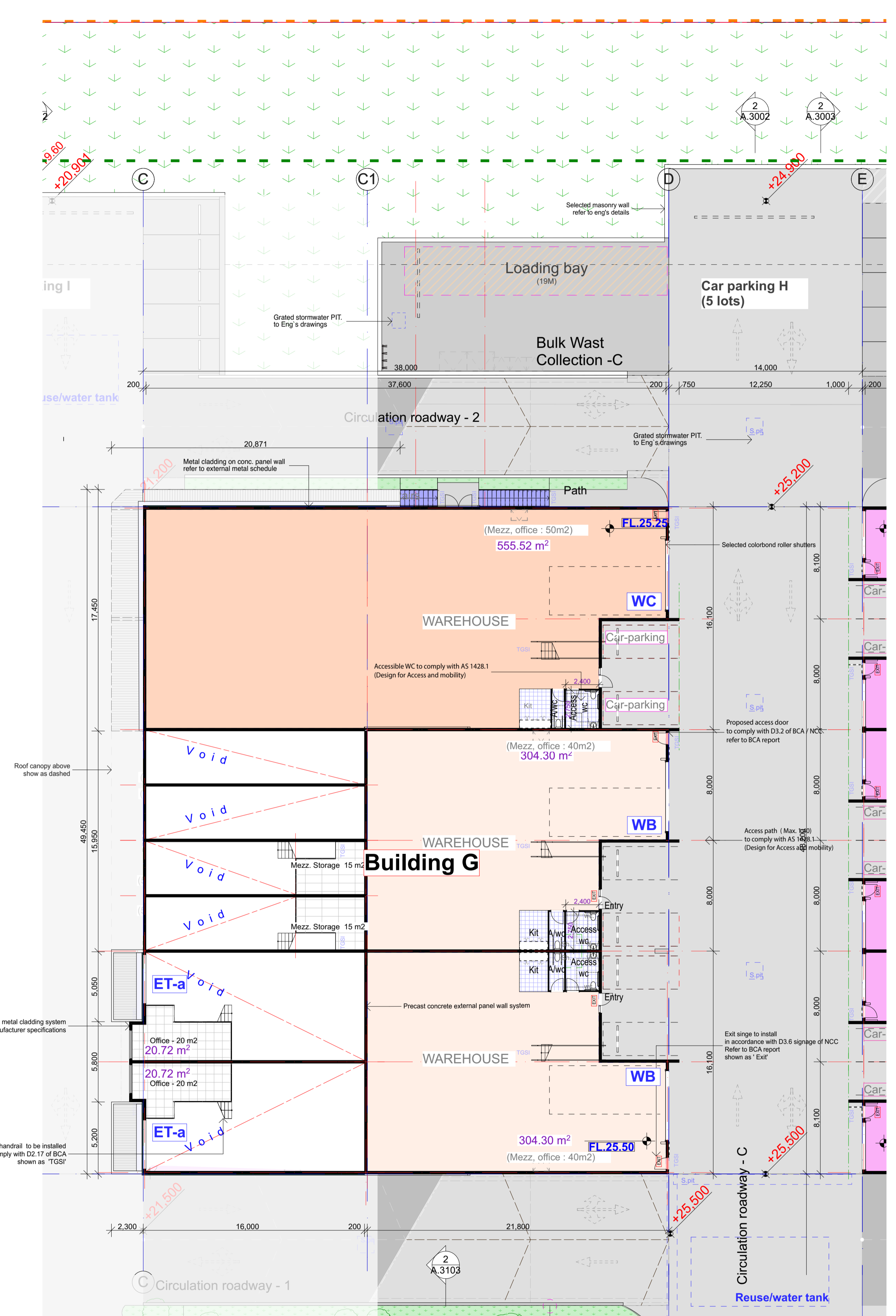
**COLOUR SCHEDULE LEGEND FOR UNIT TYPES.**

**Warehouse zones**

- (BB) : **Butter Boxes (storage unit)**  
self-storage units ( 60m<sup>2</sup>) area at ground level  
Total floor area: 60 m<sup>2</sup>
- (BB-a) : **Butter Boxes (storage unit)**  
self-storage units ( 60m<sup>2</sup>) area at ground level  
Total floor area: 60 m<sup>2</sup>  
( Min. 5.8M Ceiling height )
- (BB-b) : **Butter Boxes (storage unit)**  
self-storage units ( 60m<sup>2</sup>) area at ground level  
Storage (15m<sup>2</sup>) at Mezz. floor level  
Total floor area: 75 m<sup>2</sup>  
( Wet area / Min. 5.8M Ceiling height )
- (BB-c) : **Butter Boxes (storage unit)**  
self-storage units ( 60m<sup>2</sup>) area at ground level  
Storage (21m<sup>2</sup>) at Mezz. floor level  
Total floor area: 107 m<sup>2</sup>  
( 1 lot of car parking / Wet area / Min. 4.5M Ceiling height )
- (ET) : **Enterprise unit (warehouse)**  
Warehouse ( 92m<sup>2</sup>) area at ground level  
Office (14m<sup>2</sup>) at first floor level  
Total floor area: 106 m<sup>2</sup>  
( 1 lot car parking )
- (ET-a) : **Enterprise unit (warehouse)**  
Warehouse ( 102m<sup>2</sup>) area at ground level  
Office ( 20m<sup>2</sup>) at first floor level  
Total floor area: 122 m<sup>2</sup>  
( 1 lot car parking )
- (ET-b) : **Enterprise unit (warehouse)**  
Warehouse ( 130 m<sup>2</sup>) area at ground level  
Office (23m<sup>2</sup>) at first floor level  
Total floor area: 153 m<sup>2</sup>  
( 1 lot car parking )
- (ET-c) : **Enterprise unit (warehouse)**  
Warehouse ( 142m<sup>2</sup>) area at ground level  
Office ( 20m<sup>2</sup>) at first floor level  
Total floor area: 162 m<sup>2</sup>  
( 1 lot car parking )
- (ET-d) : **Enterprise unit (warehouse)**  
Warehouse ( 116 m<sup>2</sup>) area at ground level  
Office ( 20m<sup>2</sup>) at first floor level  
Total floor area: 136 m<sup>2</sup>  
( 1 lot car parking )
- (WA 1) : **Warehouse unit A**  
Warehouse ( 192m<sup>2</sup>) area at ground level  
Office (30m<sup>2</sup>) at first floor level  
Total floor area: 222m<sup>2</sup>  
( 2 lot car parking )
- (WA 2) : **Warehouse unit A**  
Warehouse ( 244 m<sup>2</sup>) area at ground level  
Office (30m<sup>2</sup>) at first floor level  
Total floor area: 274 m<sup>2</sup>  
( 2 lot car parking )
- (WA 3) : **Warehouse unit A**  
Warehouse ( 295 m<sup>2</sup>) area at ground level  
Office (30m<sup>2</sup>) at first floor level  
Total floor area: 325 m<sup>2</sup>  
( 2 lot car parking )



1 Ground Floor Layout (Building G) 1:200



2 Ground & Mezzanine Floor Layout (Building G) 1:200

NOTE:  
 1. TIMBER FRAMING AND WIND BRACING TO COMPLY WITH AS 1684 AND TO NSW TIMBER FRAMING MANUAL AMENDED TO SUIT WIND TERRAIN CATEGORY.  
 2. PROVIDE CERTIFIED TERMITE BARRIERS SYSTEMS TO AS 3660.  
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02	10.03.20	Issue for consultation coordination.
03	04.04.20	Issue for consultation coordination.
04	04.06.20	Issue for final coordination.
05	24.06.20	Issue for DA submission.

No	DATE	AMENDMENT

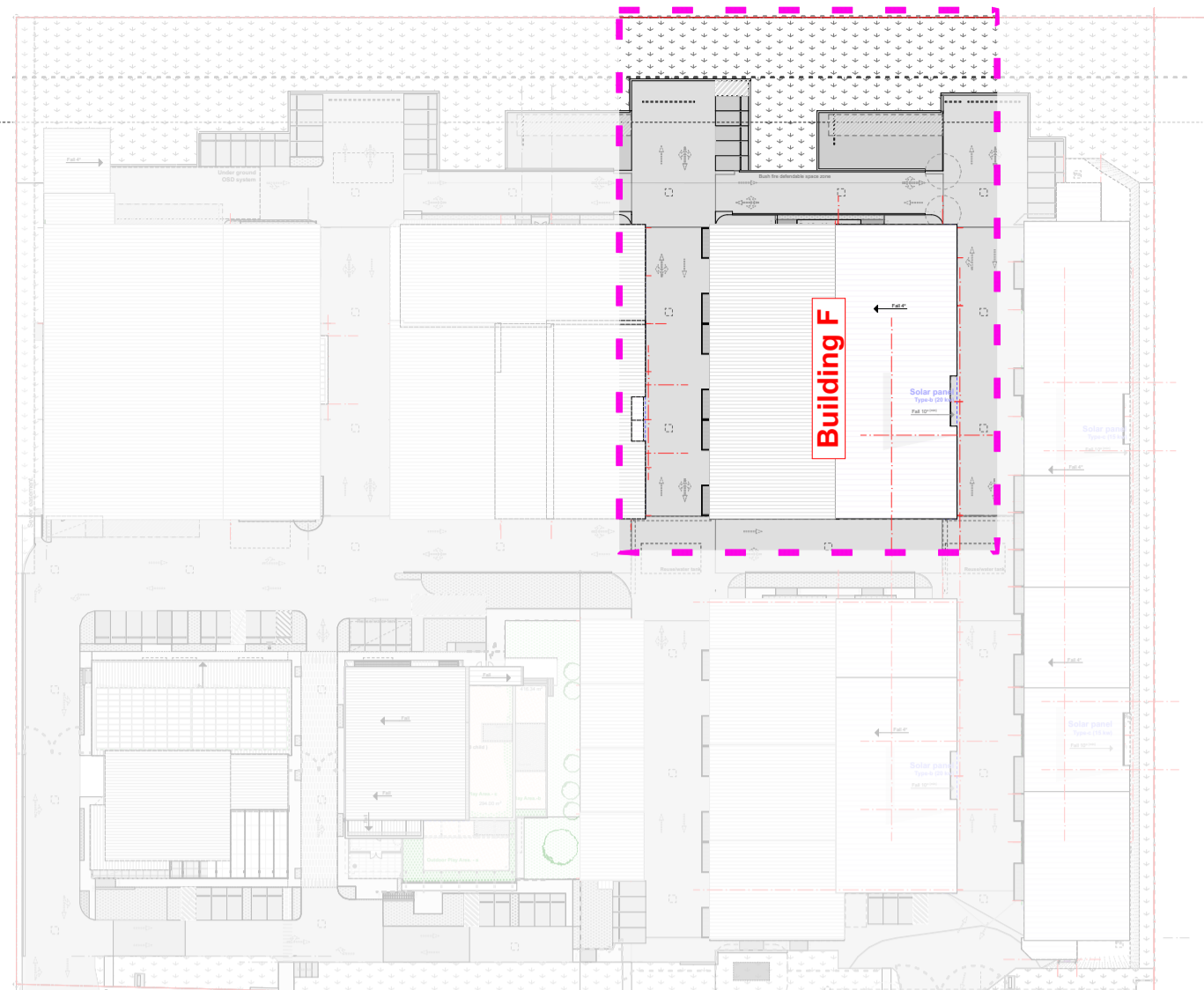
PROJECT  
**PROPOSED MIXED USE LIGHT INDUSTRIAL PARK DEVELOPMENT**  
 SITE:  
**27 Sunny Bank Road, Lisarow, NSW  
 Lot 1, DP 880254**  
 CLIENT:  
**Palladium Property Services Pty Ltd**

**BHI ARCHITECTS PTY LTD**  
 SYDNEY  
 Suite 3 1077 Dunning Avenue  
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 WOLLONGONG  
 KIAMA  
 4125 Terralong Street,  
 Kiama, NSW, AUSTRALIA, 2533  
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DRAWING TITLE:  
**Floor Plans (Building G / Warehouse Zone)**  
 DRAWN: CHKD  
 JK MH  
 PROJECT NO.: 8756  
 STATUS: DA  
 DATE: 3/7/20  
 DRAWING NO.: A.2012  
 SCALE: @A1  
 1:200  
 05



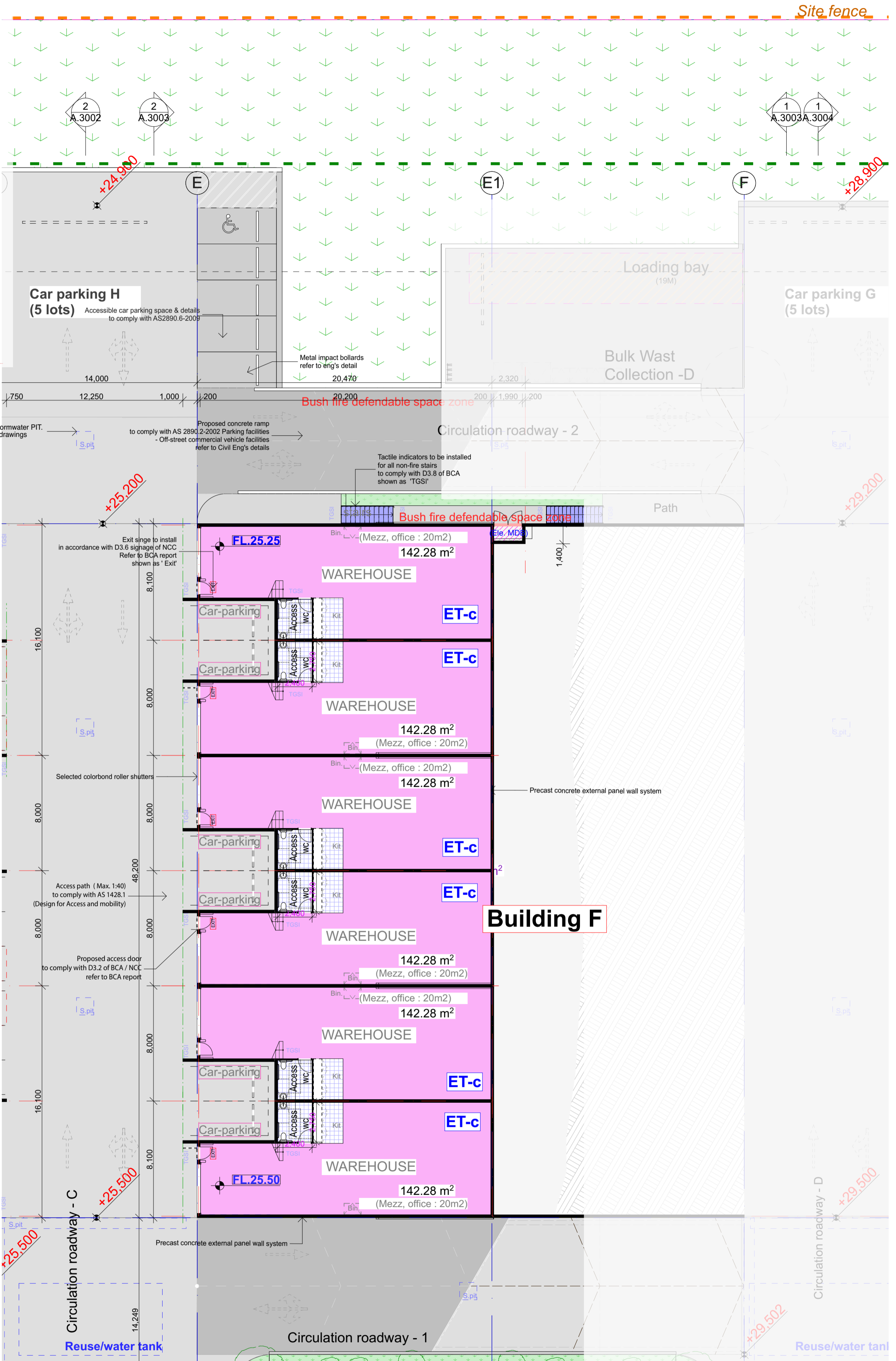


Key Site Plan.

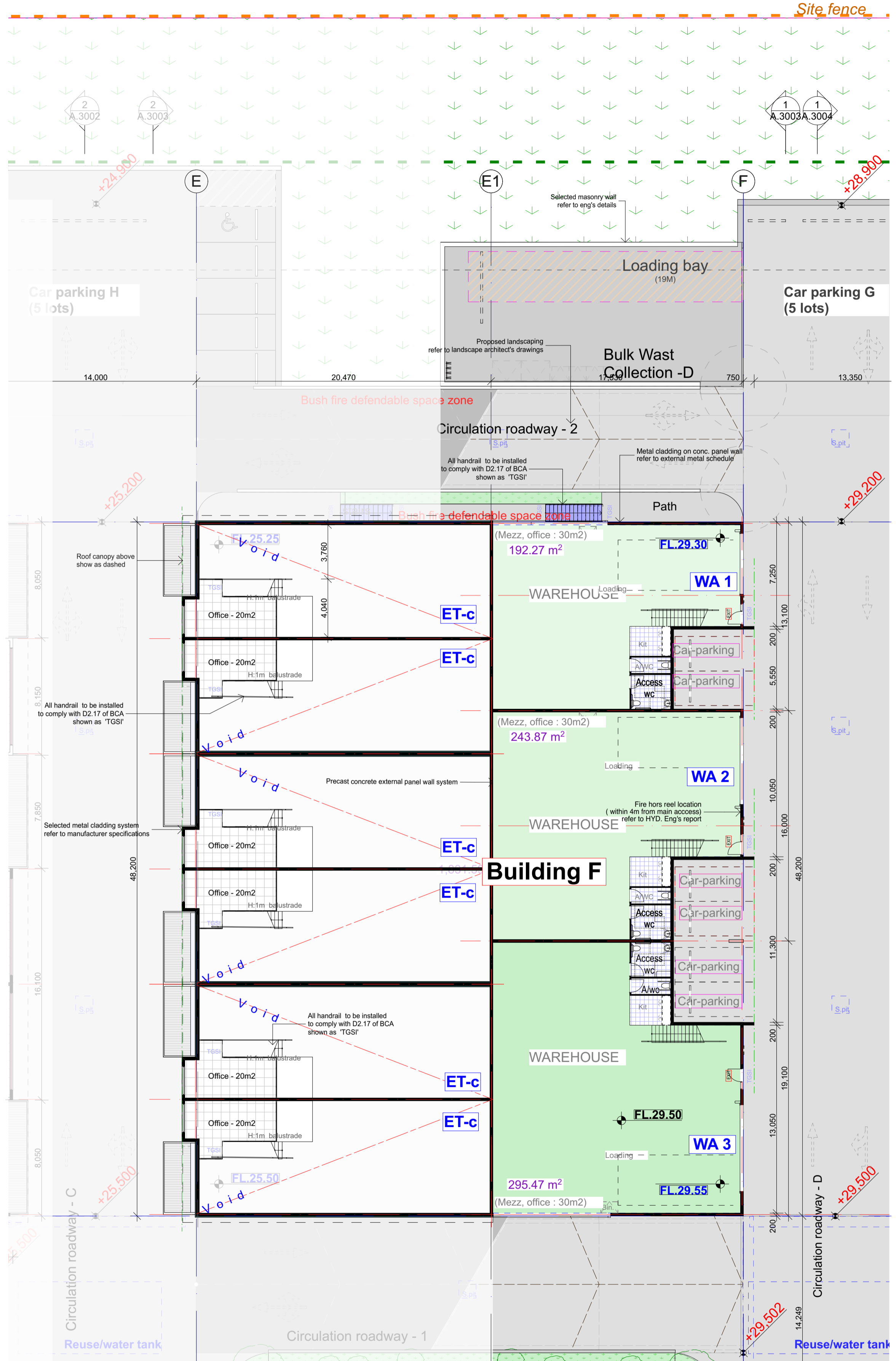
**COLOUR SCHEDULE LEGEND FOR UNIT TYPES.**

**Warehouse zones**

(ET)	Enterprise unit (warehouse)	Warehouse (92m <sup>2</sup> ) area at ground level Office (14m <sup>2</sup> ) at first floor level Total floor area: 106 m <sup>2</sup> (1 lot car parking)	
(ET-a)	Enterprise unit (warehouse)	Warehouse (102m <sup>2</sup> ) area at ground level Office (20m <sup>2</sup> ) at first floor level Total floor area: 122 m <sup>2</sup> (1 lot car parking)	
(ET-b)	Enterprise unit (warehouse)	Warehouse (130 m <sup>2</sup> ) area at ground level Office (23m <sup>2</sup> ) at first floor level Total floor area: 153 m <sup>2</sup> (1 lot car parking)	
(ET-c)	Enterprise unit (warehouse)	Warehouse (142m <sup>2</sup> ) area at ground level Office (20m <sup>2</sup> ) at first floor level Total floor area: 162 m <sup>2</sup> (1 lot car parking)	
(ET-d)	Enterprise unit (warehouse)	Warehouse (116 m <sup>2</sup> ) area at ground level Office (20m <sup>2</sup> ) at first floor level Total floor area: 136 m <sup>2</sup> (1 lot car parking)	
(WA 1)	Warehouse unit A	Warehouse (192m <sup>2</sup> ) area at ground level Office (30m <sup>2</sup> ) at first floor level Total floor area: 222m <sup>2</sup> (2 lot car parking)	
(WA 2)	Warehouse unit A	Warehouse (244 m <sup>2</sup> ) area at ground level Office (30m <sup>2</sup> ) at first floor level Total floor area: 274 m <sup>2</sup> (2 lot car parking)	
(WA 3)	Warehouse unit A	Warehouse (295 m <sup>2</sup> ) area at ground level Office (30m <sup>2</sup> ) at first floor level Total floor area: 325 m <sup>2</sup> (2 lot car parking)	



1 Ground Layout Plan (Building F) 1:200



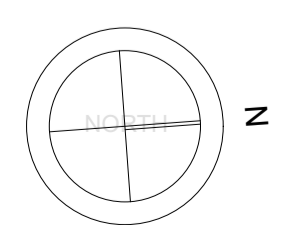
2 Ground & Mezzanine Floor Layout (Building F) 1:200

NOTE:  
 1. TIMBER FRAMING AND WIND BRACING TO COMPLY WITH AS 1610 AND TO NSW TIMBER FRAMING MANUAL AMENDED TO SUIT WIND TERRAIN CATEGORY 3.  
 2. PROVIDE CERTIFIED TERMITE BARRIER SYSTEMS TO AS 3600.  
 3. SELECTED WINDOWS AND DOORS TO SUIT DESIGNATED WIND TERRAIN CATEGORY.  
 4. ALL SITE CONDITIONS INCLUDING LEVELS TO BE CONFIRMED, AND ANY DISCREPANCIES TO BE REFERRED TO ARCHITECT PRIOR TO COMMENCEMENT.  
 5. DO NOT SCALE THE DRAWING. USE DIMENSIONED DIMENSIONS.  
 6. CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATING ANY ITEM.  
 7. DRAWINGS TO BE CHECKED AND CERTIFIED BY A PRACTISING STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.  
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01	10.01.20	Issue for consultation coordination.
02	10.03.20	Issue for consultation coordination.
03	04.04.20	Issue for consultation coordination.
04	04.06.20	Issue for final coordination.
05	24.06.20	Issue for DA submission.

No	DATE	AMENDMENT

PROJECT  
**PROPOSED MIXED USE LIGHT INDUSTRIAL PARK DEVELOPMENT**  
 SITE:  
**27 Sunny Bank Road, Lisarow, NSW**  
**Lot 1, DP 880254**  
 CLIENT:  
**Palladium Property Services Pty Ltd**

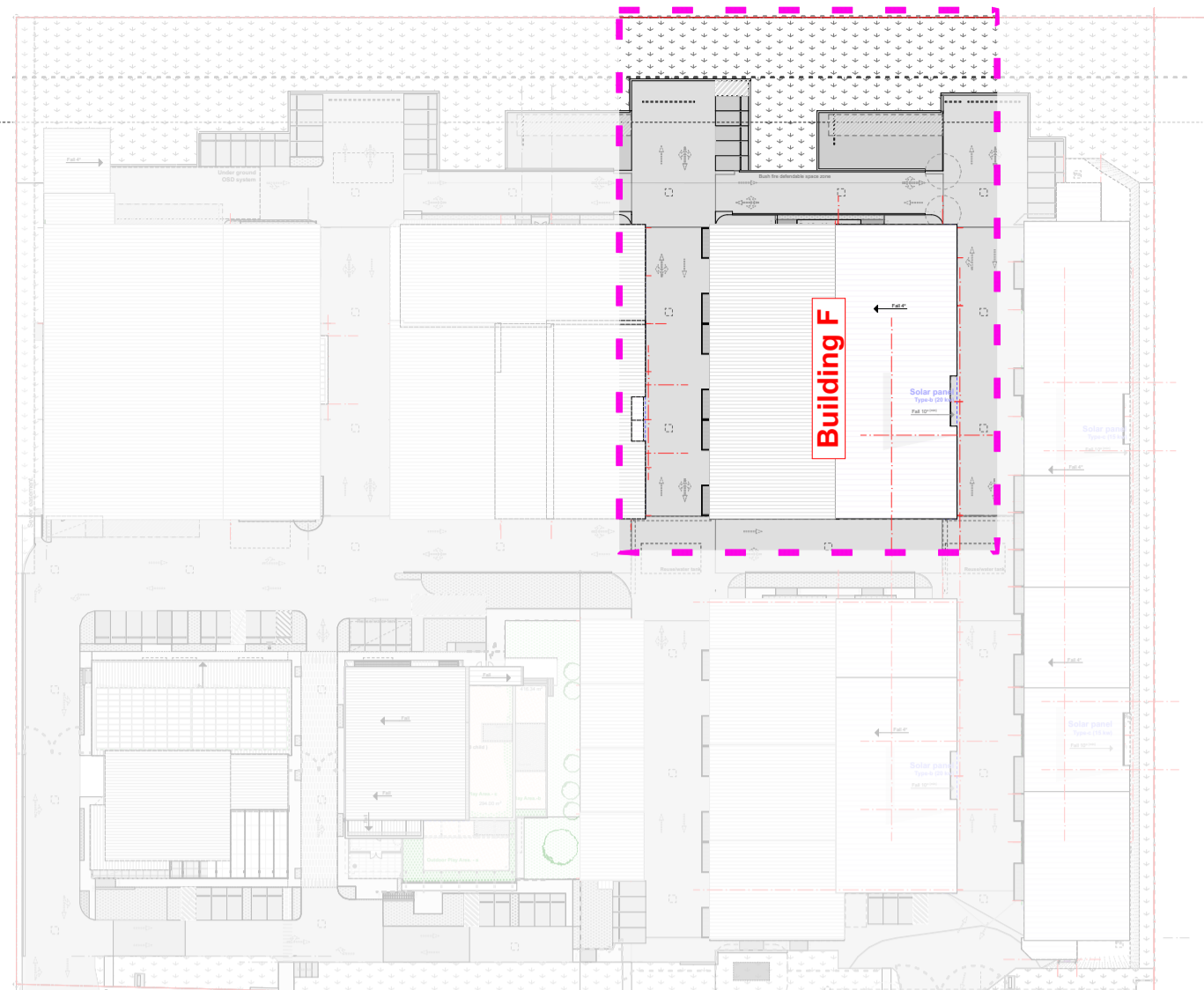


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 Kiama, NSW, AUSTRALIA, 2533  
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DRAWING TITLE:  
**Floor Plans (Building F / Warehouse Zone)**  
 DRAWN: JK  
 CHKD: MH  
 DATE: 3/7/20  
 PROJECT NO.: 8756  
 STATUS: DA  
 SCALE: @A1  
 1:200  
 DRAWING NO.: A.2010  
 05



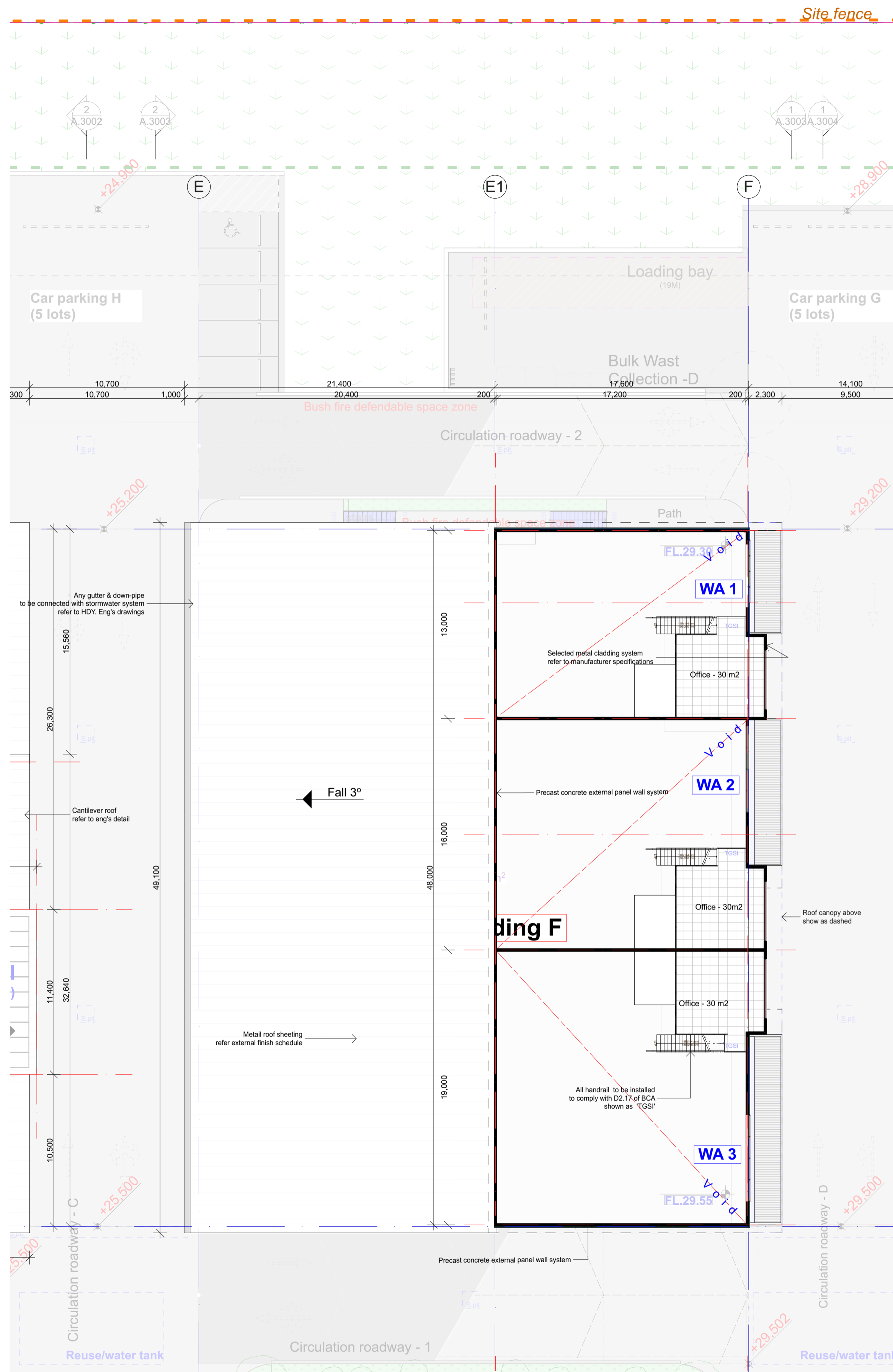


Key Site Plan.

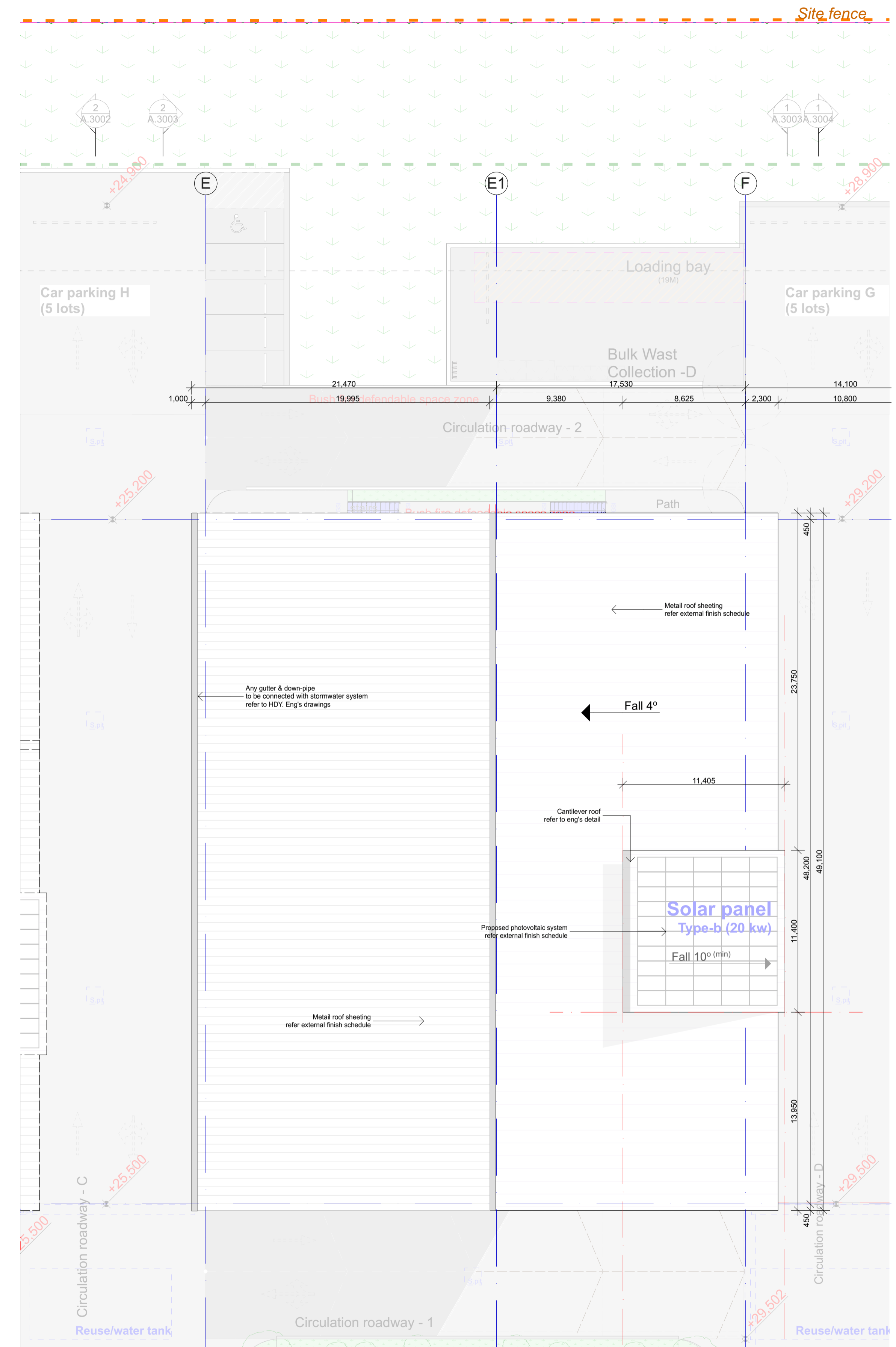
**COLOUR SCHEDULE LEGEND FOR UNIT TYPES.**

**Warehouse zones**

- (ET) : Enterprise unit (warehouse)  
Warehouse ( 92m<sup>2</sup>) area at ground level  
Office (14m<sup>2</sup>) at first floor level  
Total floor area: 106 m<sup>2</sup>  
( 1 lot car parking )
- (ET-a) : Enterprise unit (warehouse)  
Warehouse ( 102m<sup>2</sup>) area at ground level  
Office ( 20m<sup>2</sup>) at first floor level  
Total floor area: 122 m<sup>2</sup>  
( 1 lot car parking )
- (ET-b) : Enterprise unit (warehouse)  
Warehouse ( 130 m<sup>2</sup>) area at ground level  
Office (23m<sup>2</sup>) at first floor level  
Total floor area: 153 m<sup>2</sup>  
( 1 lot car parking )
- (ET-c) : Enterprise unit (warehouse)  
Warehouse ( 142m<sup>2</sup>) area at ground level  
Office ( 20m<sup>2</sup>) at first floor level  
Total floor area: 162 m<sup>2</sup>  
( 1 lot car parking )
- (ET-d) : Enterprise unit (warehouse)  
Warehouse ( 116 m<sup>2</sup>) area at ground level  
Office ( 20m<sup>2</sup>) at first floor level  
Total floor area: 136 m<sup>2</sup>  
( 1 lot car parking )
- (WA 1) : Warehouse unit A  
Warehouse ( 192m<sup>2</sup>) area at ground level  
Office (30m<sup>2</sup>) at first floor level  
Total floor area: 222m<sup>2</sup>  
( 2 lot car parking )
- (WA 2) : Warehouse unit A  
Warehouse ( 244 m<sup>2</sup>) area at ground level  
Office (30m<sup>2</sup>) at first floor level  
Total floor area: 274 m<sup>2</sup>  
( 2 lot car parking )
- (WA 3) : Warehouse unit A  
Warehouse ( 295 m<sup>2</sup>) area at ground level  
Office (30m<sup>2</sup>) at first floor level  
Total floor area: 325 m<sup>2</sup>  
( 2 lot car parking )



**1 Mezzanine Floor Layout (Building F) 1:200**



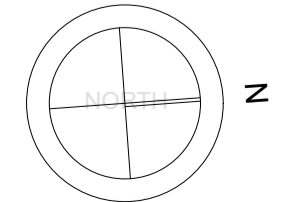
**2 Roof Layout (Building F) 1:200**

NOTE:  
1. TIMBER FRAMING AND WIND BRACING TO COMPLY WITH AS1684 AND TO NSW TIMBER FRAMING MANUAL AMENDED TO SUIT WIND TERRAIN CATEGORY 2.  
2. PROVIDE CHIMNEY TERRACE BARRIERS SYSTEM TO AS 3999.  
3. SELECTED WINDOWS AND DOORS TO SUIT DESIGNATED WIND TERRAIN CATEGORY.  
4. ALL SITE CONDITIONS INCLUDING LEVELS TO BE CONFIRMED, AND ANY DISCREPANCIES TO BE REFERRED TO ARCHITECT PRIOR TO COMMENCEMENT.  
5. DO NOT SCALE THE DRAWING. USE DIMENSIONED LINES.  
6. CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATING ANY ITEM.  
7. DRAWINGS TO BE CHECKED AND CERTIFIED BY A PRACTISING STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.  
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03	04.04.20	Issue for consultation coordination.
04	04.06.20	Issue for final coordination.
05	24.06.20	Issue for DA submission

No	DATE	AMENDMENT

PROJECT  
**PROPOSED MIXED USE LIGHT INDUSTRIAL PARK DEVELOPMENT**  
SITE:  
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Lot 1, DP 880254**  
CLIENT:  
**Palladium Property Services Pty Ltd**

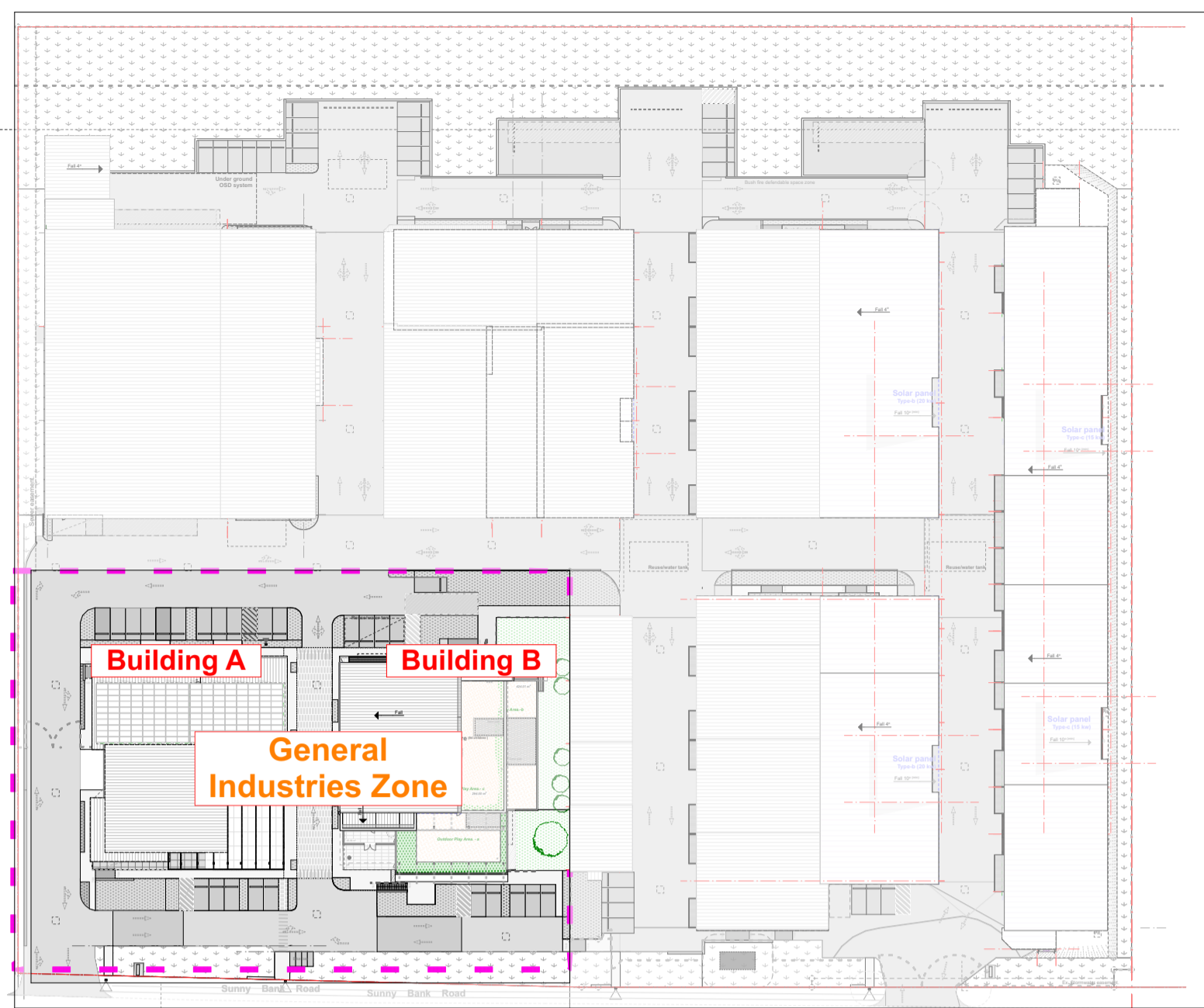


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**KIAMA**  
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Kiama, NSW, AUSTRALIA, 2533  
T: +612 4232 2125



DRAWING TITLE:  
**Floor Plans (Building F / Warehouse Zone)**  
DRAWN: JK  
CHKD: MH  
DATE: 3/7/20  
PROJECT NO.: 8756  
STATUS: **DA**  
SCALE: @A1  
1:200  
DRAWING NO.: **A.2011**  
**05**





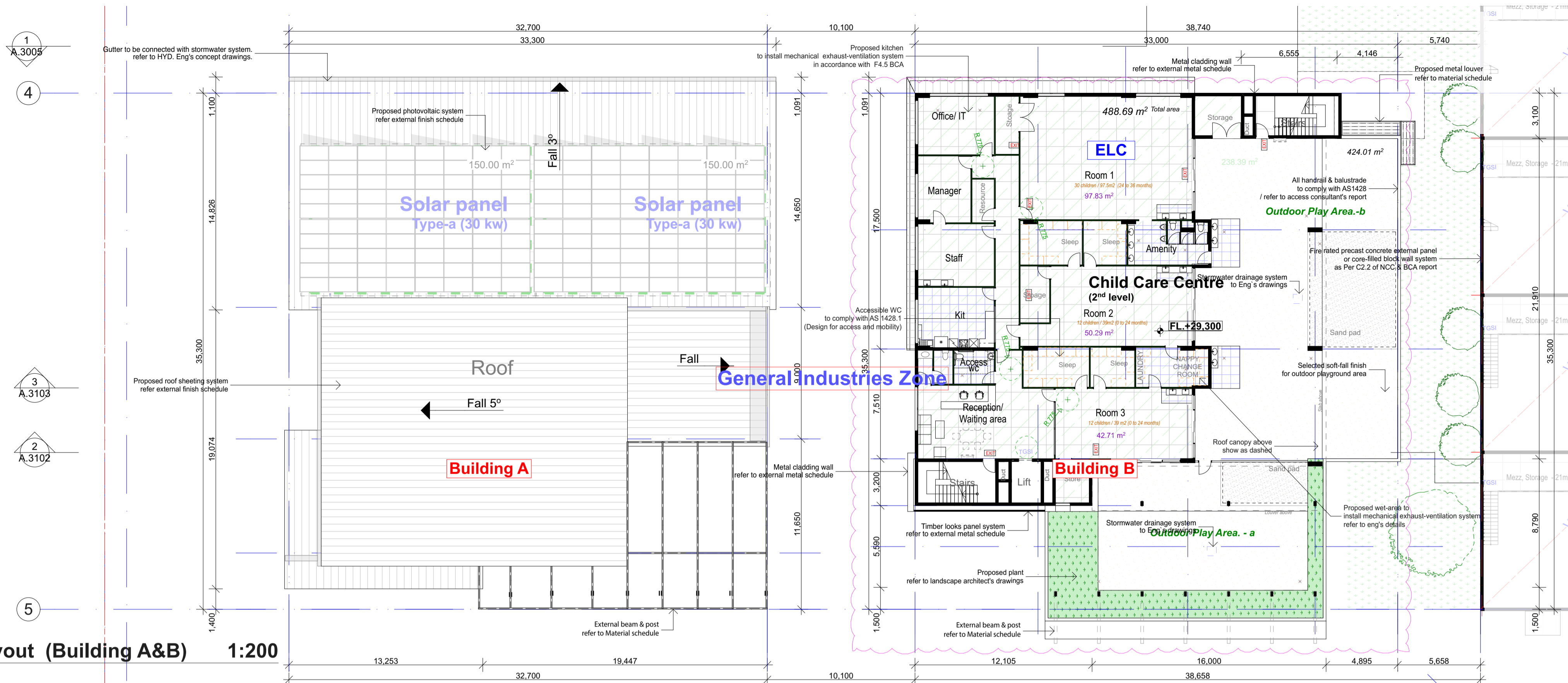
Key Site Plan.

COLOUR SCHEDULE LEGEND FOR UNIT TYPES.

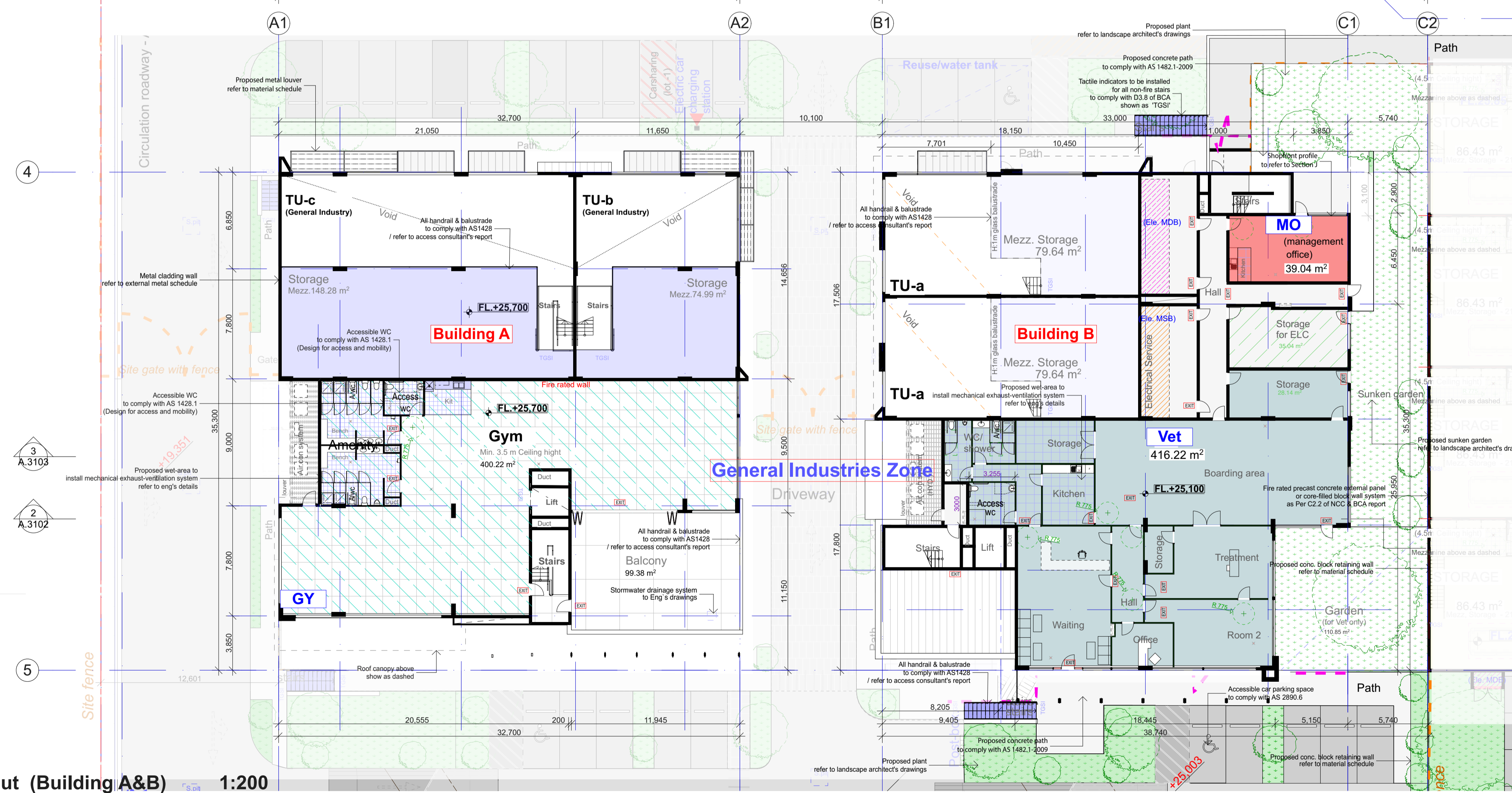
General Industrial Zone

- (CA) : Cafe (Street accessible)  
Dining (47m<sup>2</sup>) & kitchen (24 m<sup>2</sup>) area at ground floor level  
Total floor area : 71m<sup>2</sup>
- (Res) : Restaurant (Street accessible)  
Dining (77m<sup>2</sup>) & kitchen (37 m<sup>2</sup>) area at ground floor level  
Total floor area : 114 m<sup>2</sup>
- (TU-a) : General Industry unit (Street accessible)  
Unit floor (119 m<sup>2</sup>) area at ground level  
Storage (80m<sup>2</sup>) area at Mezz. floor level  
Total floor area : 199 m<sup>2</sup>
- (TU-b) : General Industry unit (Street accessible)  
Unit floor (153 m<sup>2</sup>) area at ground level  
Storage (75m<sup>2</sup>) area at Mezz. floor level  
Total floor area : 238 m<sup>2</sup>
- (TU-c) : General Industry unit (Street accessible)  
Unit floor (236 m<sup>2</sup>) area at ground level  
Storage (148m<sup>2</sup>) area at Mezz. floor level  
Total floor area : 444 m<sup>2</sup>
- (NS) : Neighbourhood Shop (Street accessible)  
Total floor area : 87m<sup>2</sup>
- (GY) : Gym / Sport activity centre (at first floor level)  
(24 hour accessible Gymnasium)  
Total floor area : 400 m<sup>2</sup> area
- (ELC) : Early Learning Centre  
(90 Licensed @ with with 710m<sup>2</sup> outdoor play)  
/ Basement car-parking spaces  
First floor (489 m<sup>2</sup>) & second floor (368 m<sup>2</sup>) area  
Total floor area : 892 m<sup>2</sup>
- (Vet) : Veterinary Hospital (Street accessible)  
Total floor area : 416 m<sup>2</sup>
- (MO) : Service Management Office  
Total floor area : 39 m<sup>2</sup>

2 Second Floor Layout (Building A&B) 1:200



1 First Floor Layout (Building A&B) 1:200



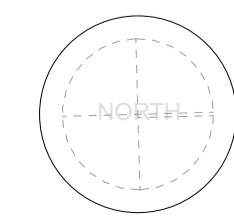
NOTE:  
 1. TIMBER FRAMING AND WIND BRACING TO COMPLY WITH AS1561 AND TO NSW TIMBER FRAMING MANUAL AMENDED TO SUIT WIND TERRAIN CATEGORY 2.  
 2. PROVIDE CERTIFIED TERRACE BARRIERS SYSTEM TO AS 3600.  
 3. SELECTED WINDOWS AND DOORS TO SUIT DESIGNATED WIND TERRAIN CATEGORY.  
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01	10.01.20	Issue for consultation coordination.
02	10.03.20	Issue for consultation coordination.
03	04.04.20	Issue for consultation coordination.
04	04.06.20	Issue for final coordination.
05	24.06.20	Issue for DA submission.
06	28.09.20	Issue for DA Resub.

No	DATE	AMENDMENT

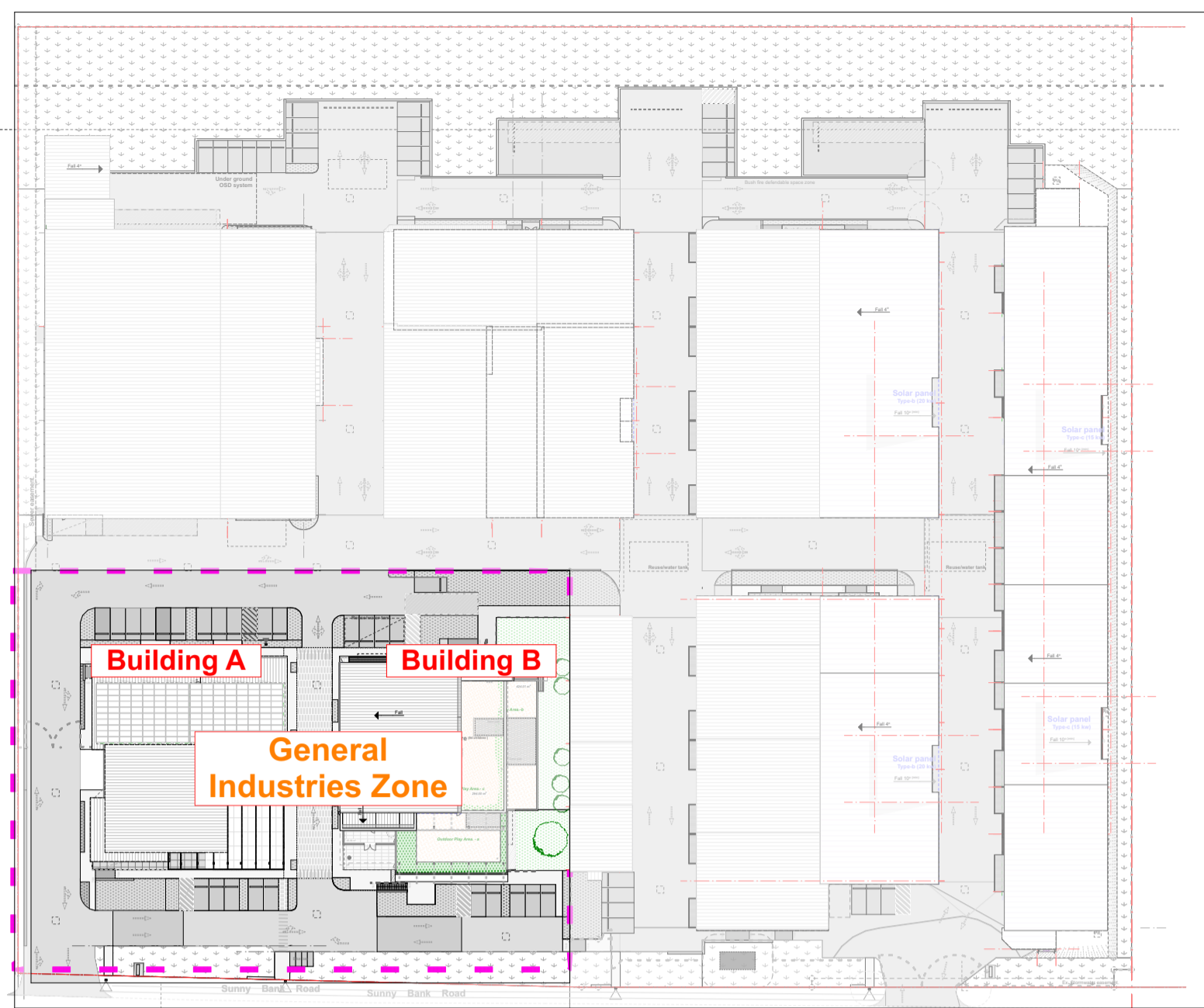
PROJECT  
**PROPOSED MIXED USE LIGHT INDUSTRIAL PARK DEVELOPMENT**  
 SITE:  
**27 Sunny Bank Road, Lisarow, NSW  
 Lot 1, DP 880254**  
 CLIENT:  
**Palladium Property Services Pty Ltd**

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 M: +61 (0)2 9313 7800  
 K I A M A  
 4125 Terrington Street,  
 Kiama, NSW, AUSTRALIA, 2533  
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DRAWING TITLE: **Floor Plans (General Industries Zone)**  
 DRAWN: JK  
 CHKD: MH  
 DATE: 1/10/20  
 PROJECT NO.: 8756  
 STATUS: DA  
 SCALE: @A1  
 DRAWING NO.: A.2002  
 06





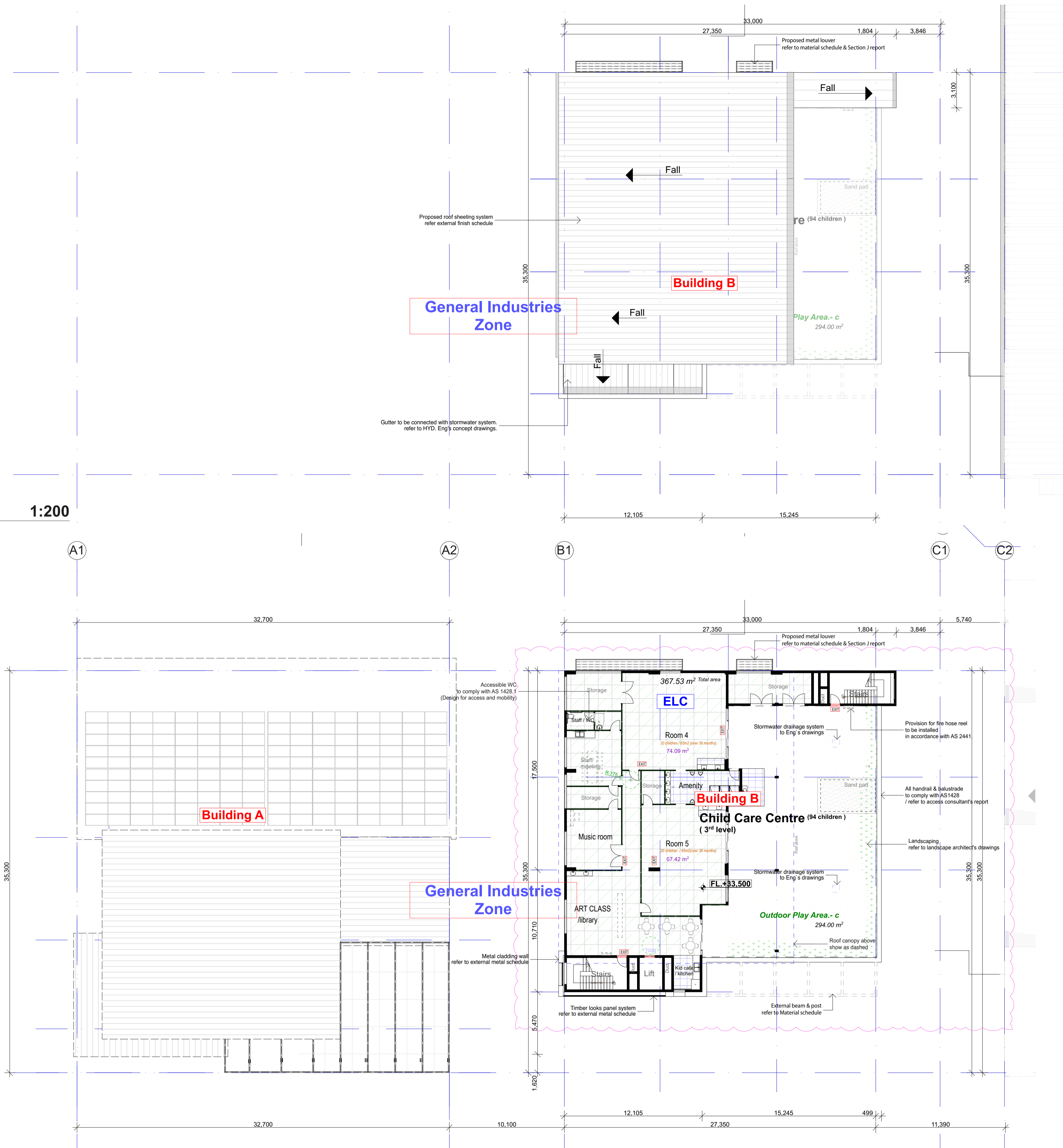
Key Site Plan.

COLOUR SCHEDULE LEGEND FOR UNIT TYPES.

**General Industrial Zone**

(CA) : Cafe (Street accessible) Dining (47m <sup>2</sup> ) & kitchen (24 m <sup>2</sup> ) area at ground floor level Total floor area : 71m <sup>2</sup>	
(Res) : Restaurant (Street accessible) Dining (77m <sup>2</sup> ) & kitchen (37 m <sup>2</sup> ) area at ground floor level Total floor area : 114 m <sup>2</sup>	
(TU-a) : General Industry unit (Street accessible) Unit floor (119 m <sup>2</sup> ) area at ground level Storage (80m <sup>2</sup> ) area at Mezz. floor level Total floor area : 199 m <sup>2</sup>	
(TU-b) : General Industry unit (Street accessible) Unit floor (153 m <sup>2</sup> ) area at ground level Storage (75m <sup>2</sup> ) area at Mezz. floor level Total floor area : 238 m <sup>2</sup>	
(TU-c) : General Industry unit (Street accessible) Unit floor (236 m <sup>2</sup> ) area at ground level Storage (148m <sup>2</sup> ) area at Mezz. floor level Total floor area : 444 m <sup>2</sup>	
(NS) : Neighbourhood Shop (Street accessible) Total floor area : 87m <sup>2</sup>	
(GY) : Gym / Sport activity centre (at first floor level) (24 hour accessible Gymnasium) Total floor area : 400 m <sup>2</sup> area	
(ELC) : Early Learning Centre (90 Licensed @ with with 710m <sup>2</sup> outdoor play) / Basement car-parking space) First floor (489 m <sup>2</sup> ) & second floor (368 m <sup>2</sup> ) area Total floor area : 892 m <sup>2</sup>	
(Vet) : Veterinary Hospital (Street accessible) Total floor area : 416 m <sup>2</sup>	
(MO) : Service Management Office Total floor area : 39 m <sup>2</sup>	

2 Roof Layout (Building B) 1:200



1 Roof layout (building A) & Third Floor Layout ( Building B) 1:200

NOTE:  
1. TIMBER FRAMING AND WIND BRACING TO COMPLY WITH AS1684 AND TO NSW TIMBER FRAMING MANUAL AMENDED TO SUIT WIND TERRAN CATEGORY 2.  
2. PROVIDE CERTIFIED TERMITE BARRIERS SYSTEM TO AS 3660.  
3. SELECTED WINDOWS AND DOORS TO SUIT DESIGNATED WIND TERRAN CATEGORY.  
4. ALL SITE CONDITIONS INCLUDING LEVELS TO BE CONFIRMED, AND ANY DISCREPANCIES TO BE REFERRED TO ARCHITECT PRIOR TO COMMENCEMENT.  
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05	24.06.20	Issue for DA submission.
06	28.09.20	Issue for DA Resub.

No	DATE	AMENDMENT

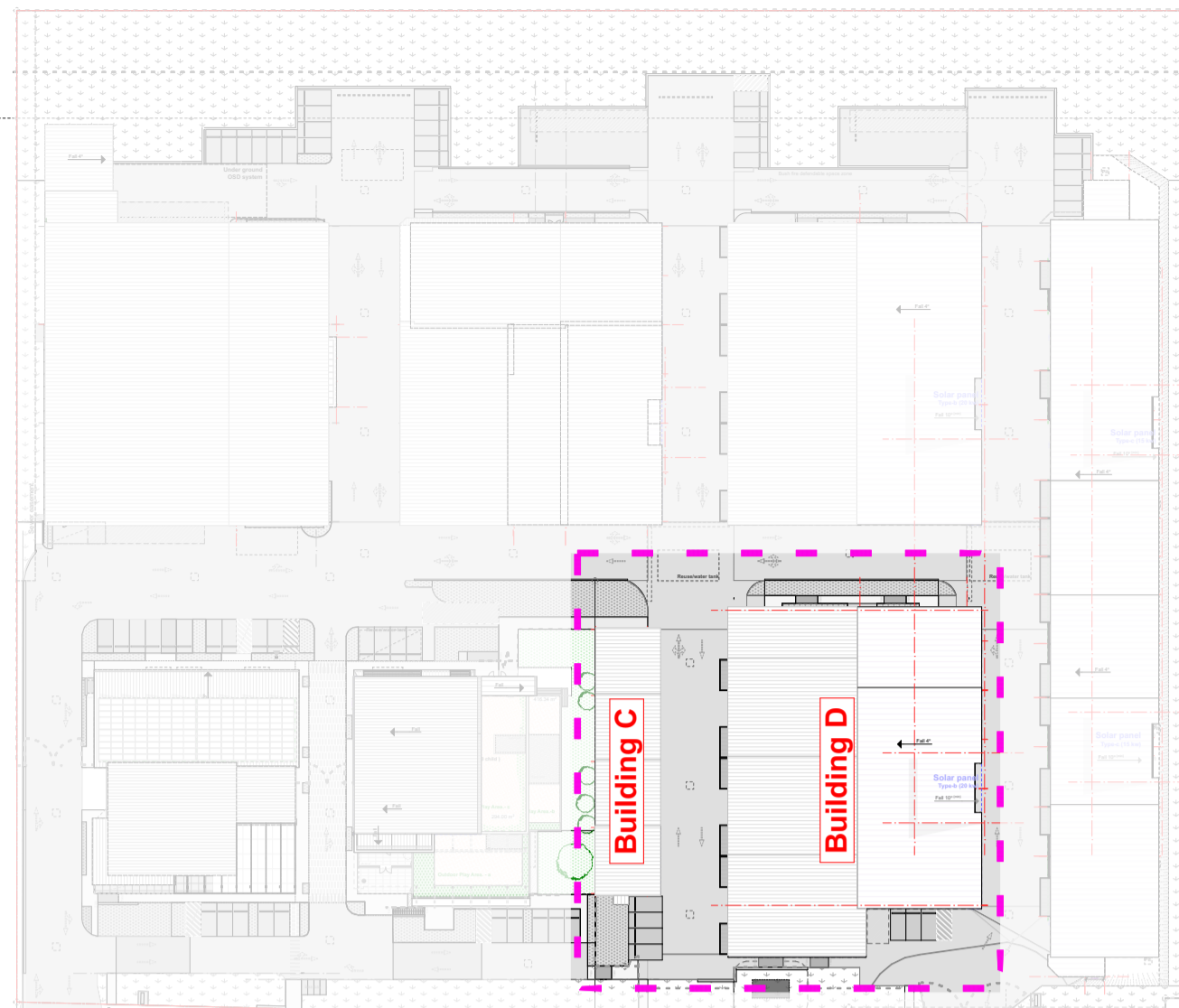
PROJECT  
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T: +612 4232 2125



DRAWING TITLE: **Floor Plans (General Industries Zone)**  
DRAWN: JK  
CHKD: MH  
PROJECT NO: 8756  
DATE: 1/10/20  
DRAWING NO: A.2003  
STATUS: DA  
SCALE: @A1  
1:200  
06



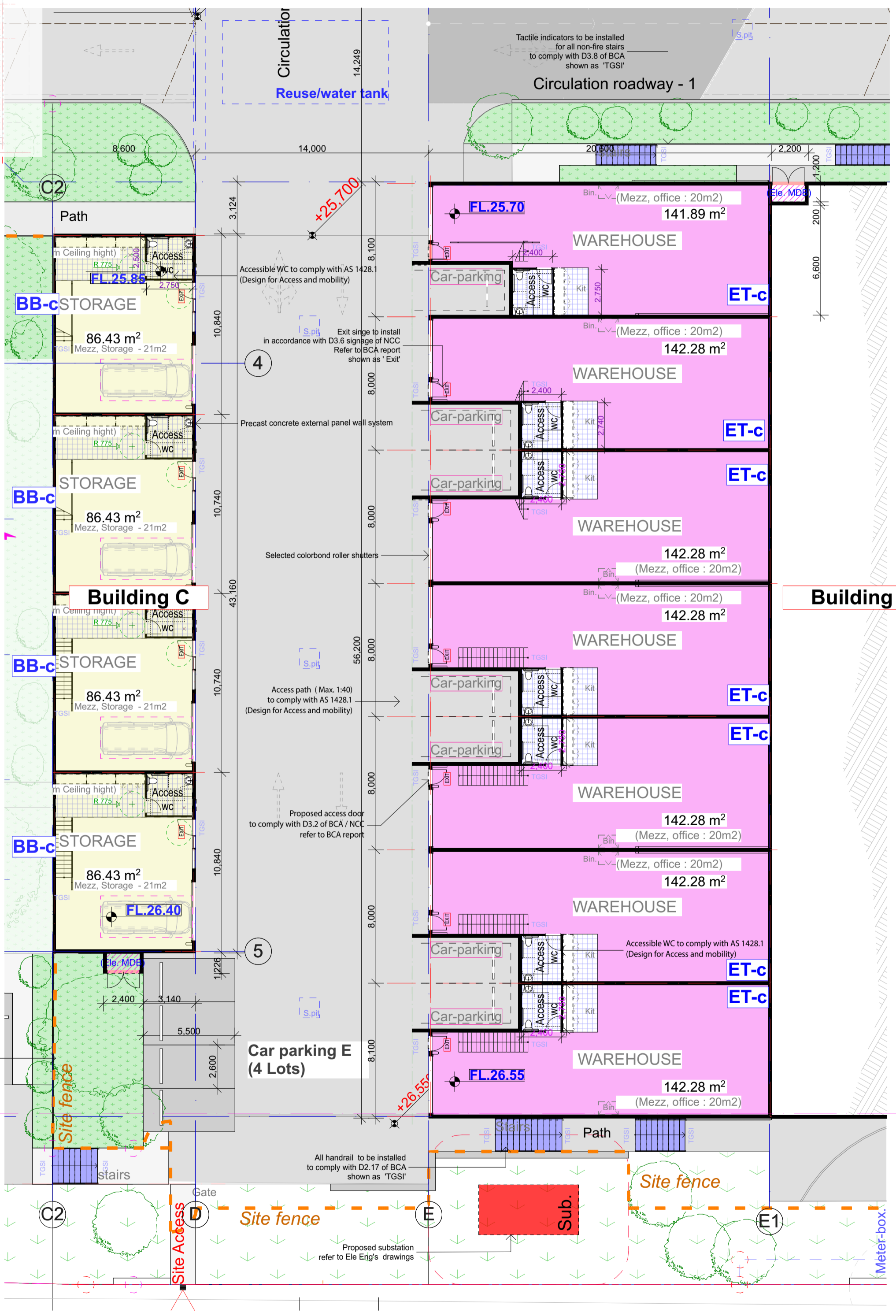


Key Site Plan.

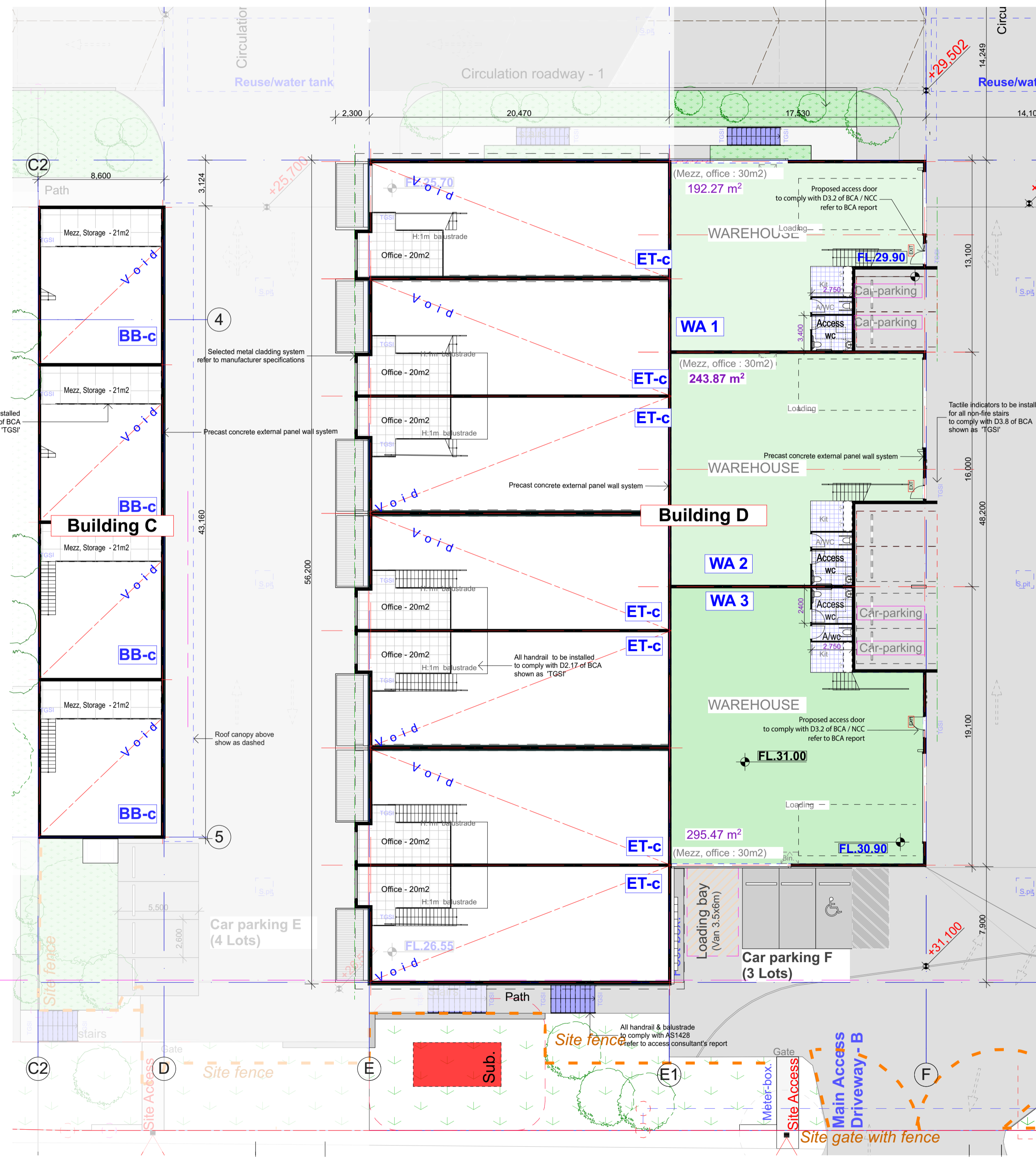
**COLOUR SCHEDULE LEGEND FOR UNIT TYPES.**

**Warehouse zones**

(BB) : Butter Boxes (storage unit) self-storage units ( 60m <sup>2</sup> ) area at ground level Total floor area: 60 m <sup>2</sup>	
(BB-a) : Butter Boxes (storage unit) self-storage units ( 60m <sup>2</sup> ) area at ground level Total floor area: 60 m <sup>2</sup> ( Min. 3.5M Ceiling height )	
(BB-b) : Butter Boxes (storage unit) self-storage units ( 60m <sup>2</sup> ) area at ground level storage (15m <sup>2</sup> ) at Mezz. floor level Total floor area: 75 m <sup>2</sup> ( Wet area / Min. 3.5M Ceiling height )	
(BB-c) : Butter Boxes (storage unit) self-storage units ( 60m <sup>2</sup> ) area at ground level Storage (21m <sup>2</sup> ) at Mezz. floor level Total floor area: 107 m <sup>2</sup> ( Wet area / Min. 5.5M Ceiling height )	
(ET) : Enterprise unit (warehouse) Warehouse ( 92m <sup>2</sup> ) area at ground level Office (14m <sup>2</sup> ) at first floor level Total floor area: 106 m <sup>2</sup> ( 1 lot car parking )	
(ET-a) : Enterprise unit (warehouse) Warehouse ( 102m <sup>2</sup> ) area at ground level Office ( 20m <sup>2</sup> ) at first floor level Total floor area: 122 m <sup>2</sup> ( 1 lot car parking )	
(ET-b) : Enterprise unit (warehouse) Warehouse ( 130 m <sup>2</sup> ) area at ground level Office (23m <sup>2</sup> ) at first floor level Total floor area: 153 m <sup>2</sup> ( 1 lot car parking )	
(ET-c) : Enterprise unit (warehouse) Warehouse ( 142m <sup>2</sup> ) area at ground level Office ( 20m <sup>2</sup> ) at first floor level Total floor area: 162 m <sup>2</sup> ( 1 lot car parking )	
(ET-d) : Enterprise unit (warehouse) Warehouse ( 116 m <sup>2</sup> ) area at ground level Office ( 20m <sup>2</sup> ) at first floor level Total floor area: 136 m <sup>2</sup> ( 1 lot car parking )	
(WA 1) : Warehouse unit A Warehouse ( 192m <sup>2</sup> ) area at ground level Office (30m <sup>2</sup> ) at first floor level Total floor area: 222m <sup>2</sup> ( 2 lot car parking )	
(WA 2) : Warehouse unit A Warehouse ( 244 m <sup>2</sup> ) area at ground level Office (30m <sup>2</sup> ) at first floor level Total floor area: 274 m <sup>2</sup> ( 2 lot car parking )	
(WA 3) : Warehouse unit A Warehouse ( 295 m <sup>2</sup> ) area at ground level Office (30m <sup>2</sup> ) at first floor level Total floor area: 325 m <sup>2</sup> ( 2 lot car parking )	



1 Ground Floor Layout (Zone C & D) 1:200



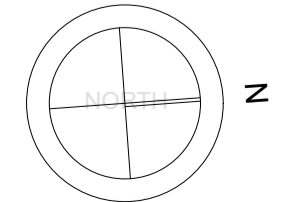
2 Ground & Mezzanine Floor Layout (Zone C & D) 1:200

NOTE:  
 1. TIMBER FRAMING AND WIND BRACING TO COMPLY WITH AS1562 AND TO NSW TIMBER FRAMING MANUAL AMENDED TO SUIT WIND TERRAIN CATEGORY 2.  
 2. PROVIDE CERTIFIED TERMITE BARRIERS SYSTEM TO AS 3660.  
 3. SELECTED WINDOWS AND DOORS TO SUIT DESIGNATED WIND TERRAIN CATEGORY.  
 4. ALL SITE CONDITIONS INCLUDING LEVELS TO BE CONFIRMED, AND ANY DISCREPANCIES TO BE REFERRED TO ARCHITECT PRIOR TO COMMENCEMENT.  
 5. DO NOT SCALE THE DRAWING. USE DIMENSIONED DIMENSIONS.  
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04	04.06.20	Issue for final coordination.
05	24.06.20	Issue for DA submission.

No	DATE	AMENDMENT

PROJECT  
**PROPOSED MIXED USE LIGHT INDUSTRIAL PARK DEVELOPMENT**  
 SITE:  
 27 Sunny Bank Road, Lisarow, NSW  
 Lot 1, DP 880254  
 CLIENT:  
 Palladium Property Services Pty Ltd

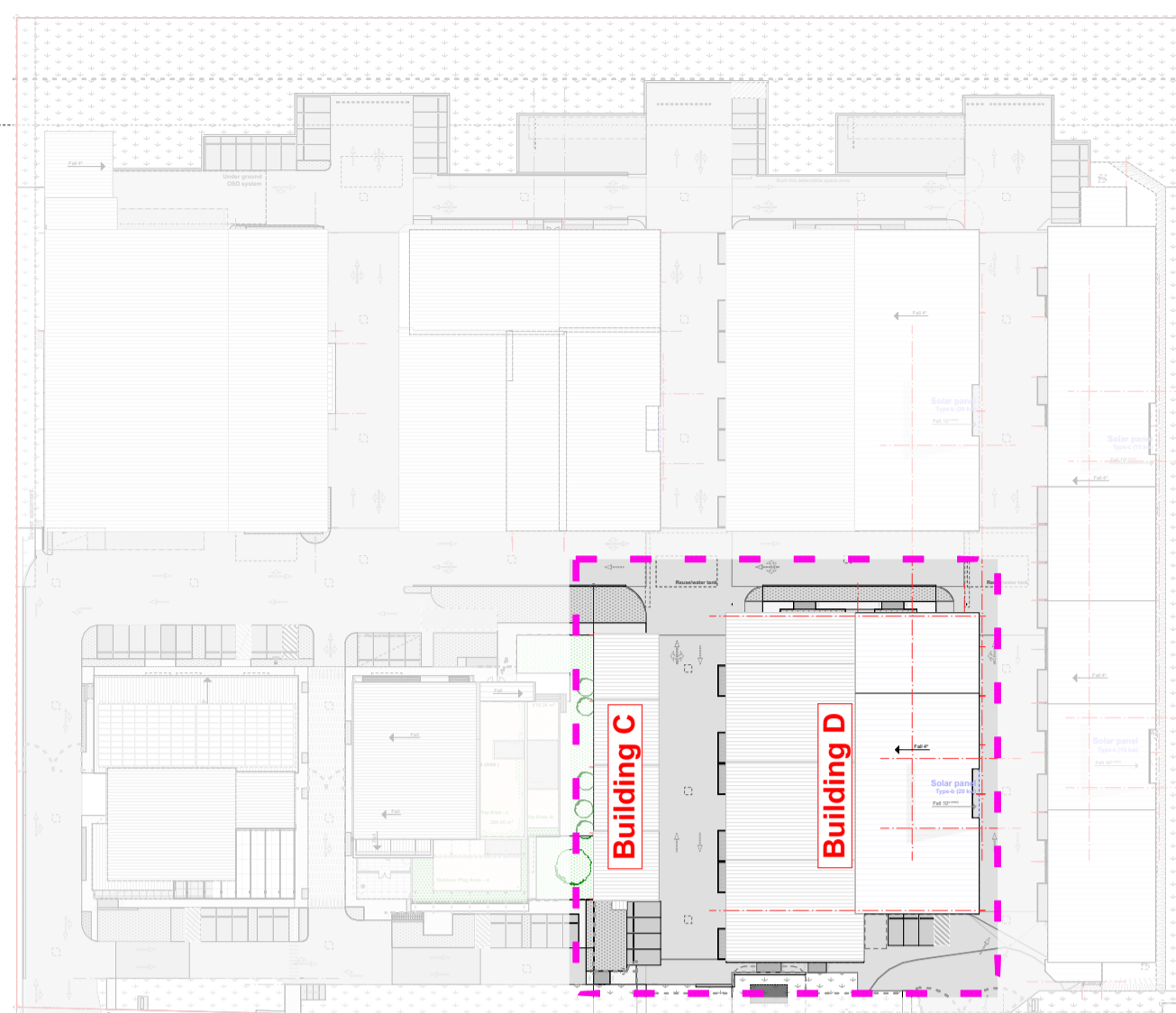


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 WOLLONGONG  
 K I A M A  
 4125 Terralong Street,  
 Kiama, NSW, AUSTRALIA, 2533  
 T: +612 4232 2125



DRAWING TITLE: **Floor Plans (Building C&D / Warehouse Zone)**  
 DRAWN: JK DATE: 3/7/20  
 CHKD: MH DATE: 3/7/20  
 PROJECT NO.: 8756  
 DRAWING NO.: A.2004  
 STATUS: DA  
 SCALE: @A1  
 1:200  
 05



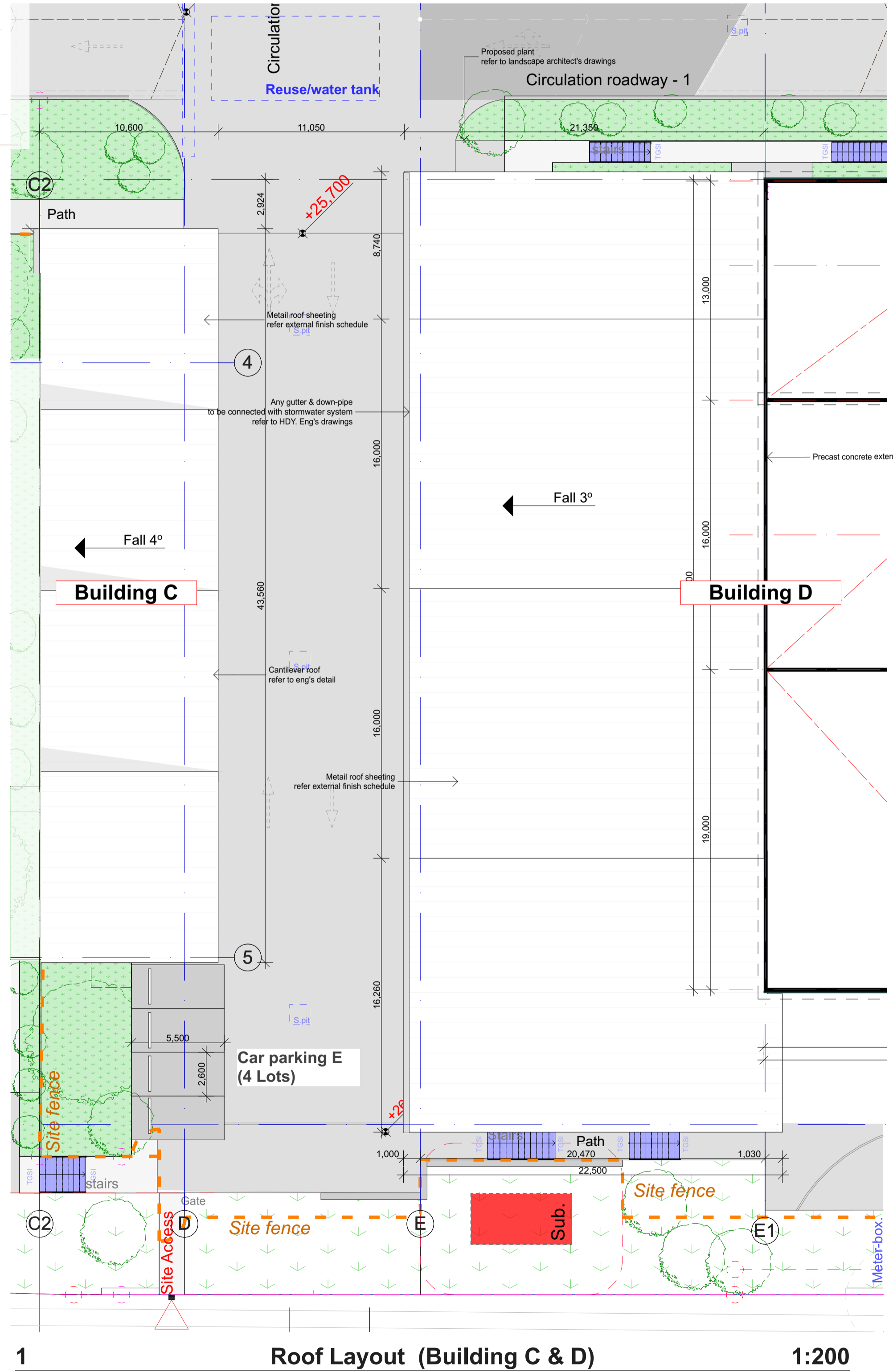


Key Site Plan.

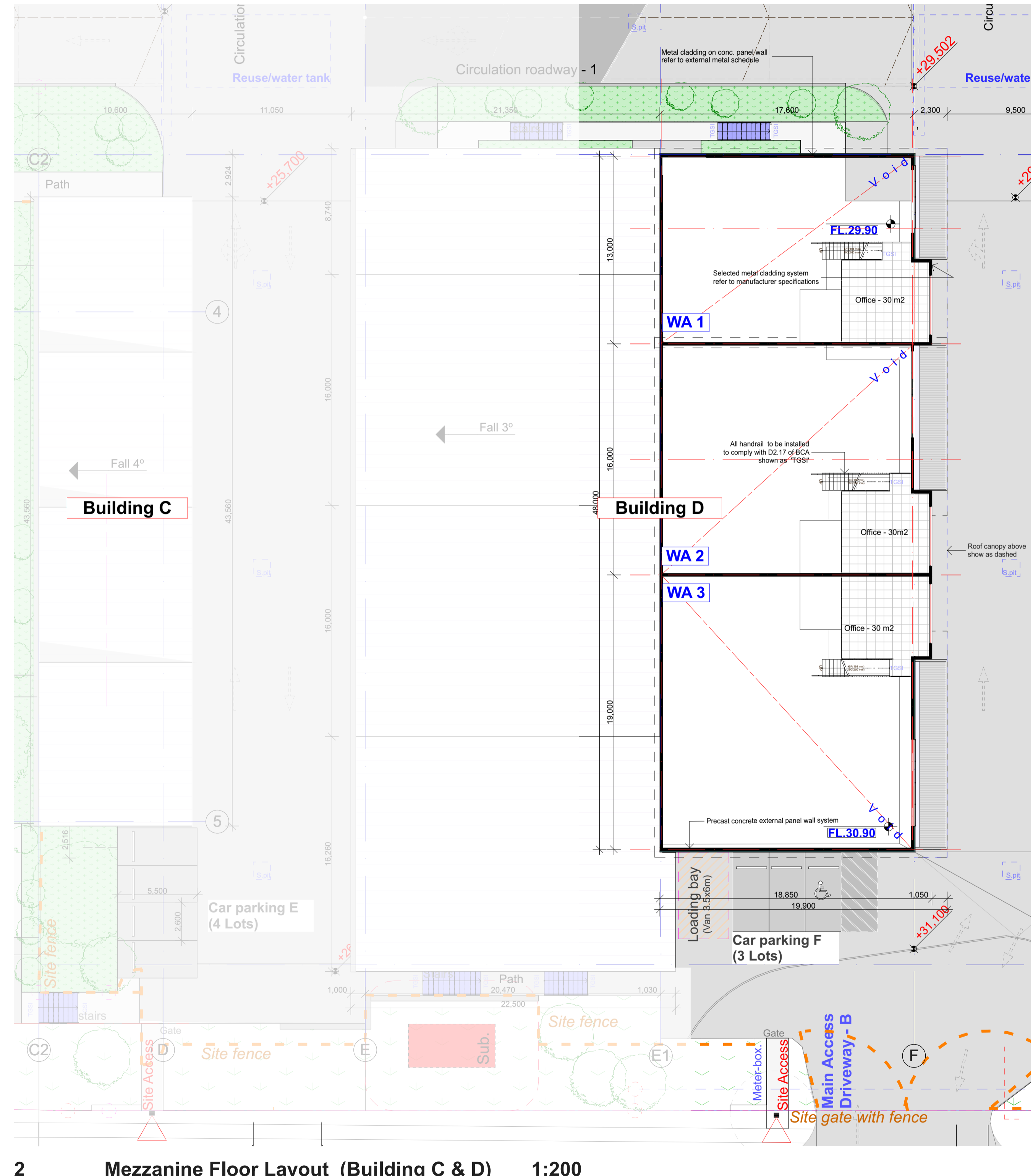
**COLOUR SCHEDULE LEGEND FOR UNIT TYPES.**

**Warehouse zones**

(BB) : Butter Boxes (storage unit) self-storage units ( 60m <sup>2</sup> ) area at ground level Total floor area: 60 m <sup>2</sup>	
(BB-a) : Butter Boxes (storage unit) self-storage units ( 60m <sup>2</sup> ) area at ground level Total floor area: 60 m <sup>2</sup> ( Min. 5.5M Ceiling height )	
(BB-b) : Butter Boxes (storage unit) self-storage units ( 60m <sup>2</sup> ) area at ground level storage (15m <sup>2</sup> ) at Mezz. floor level Total floor area: 75 m <sup>2</sup> ( Wet area / Min. 5.5M Ceiling height )	
(BB-c) : Butter Boxes (storage unit) self-storage units ( 66m <sup>2</sup> ) area at ground level Storage (21m <sup>2</sup> ) at Mezz. floor level Total floor area: 107 m <sup>2</sup> ( 1 lot of car parking / Wet area / Min. 4.5M Ceiling height )	
(ET) : Enterprise unit (warehouse) Warehouse ( 92m <sup>2</sup> ) area at ground level Office (14m <sup>2</sup> ) at first floor level Total floor area: 106 m <sup>2</sup> ( 1 lot car parking )	
(ET-a) : Enterprise unit (warehouse) Warehouse ( 102m <sup>2</sup> ) area at ground level Office (20m <sup>2</sup> ) at first floor level Total floor area: 122 m <sup>2</sup> ( 1 lot car parking )	
(ET-b) : Enterprise unit (warehouse) Warehouse ( 130 m <sup>2</sup> ) area at ground level Office (23m <sup>2</sup> ) at first floor level Total floor area: 153 m <sup>2</sup> ( 1 lot car parking )	
(ET-c) : Enterprise unit (warehouse) Warehouse ( 142m <sup>2</sup> ) area at ground level Office ( 20m <sup>2</sup> ) at first floor level Total floor area: 162 m <sup>2</sup> ( 1 lot car parking )	
(ET-d) : Enterprise unit (warehouse) Warehouse ( 116 m <sup>2</sup> ) area at ground level Office ( 20m <sup>2</sup> ) at first floor level Total floor area: 136 m <sup>2</sup> ( 1 lot car parking )	
(WA 1) : Warehouse unit A Warehouse ( 192m <sup>2</sup> ) area at ground level Office (30m <sup>2</sup> ) at first floor level Total floor area: 222m <sup>2</sup> ( 2 lot car parking )	
(WA 2) : Warehouse unit A Warehouse ( 244 m <sup>2</sup> ) area at ground level Office (30m <sup>2</sup> ) at first floor level Total floor area: 274 m <sup>2</sup> ( 2 lot car parking )	
(WA 3) : Warehouse unit A Warehouse ( 295 m <sup>2</sup> ) area at ground level Office (30m <sup>2</sup> ) at first floor level Total floor area: 325 m <sup>2</sup> ( 2 lot car parking )	



1 Roof Layout (Building C & D) 1:200



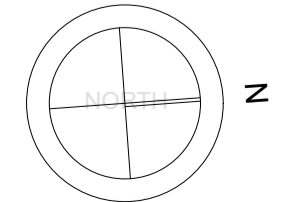
2 Mezzanine Floor Layout (Building C & D) 1:200

NOTE:  
1. TIMBER FRAMING AND WIND BRACING TO COMPLY WITH AS1684 AND TO NSW TIMBER FRAMING MANUAL AMENDED TO SUIT WIND TERRAIN CATEGORY 2.  
2. PROVIDE CERTIFIED TERMITE BARRIERS SYSTEM TO S4.3600.  
3. SELECTED WINDOWS AND DOORS TO SUIT DESIGNATED WIND TERRAIN CATEGORY.  
4. ALL SITE CONDITIONS INCLUDING LEVELS TO BE CONFIRMED, AND ANY DISCREPANCIES TO BE REFERRED TO ARCHITECT PRIOR TO COMMENCEMENT.  
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No	DATE	AMENDMENT
01	10.01.20	Issue for consultation coordination.
02	10.03.20	Issue for consultation coordination.
03	04.04.20	Issue for consultation coordination.
04	04.06.20	Issue for final coordination.
05	24.06.20	Issue for DA submission

No	DATE	AMENDMENT

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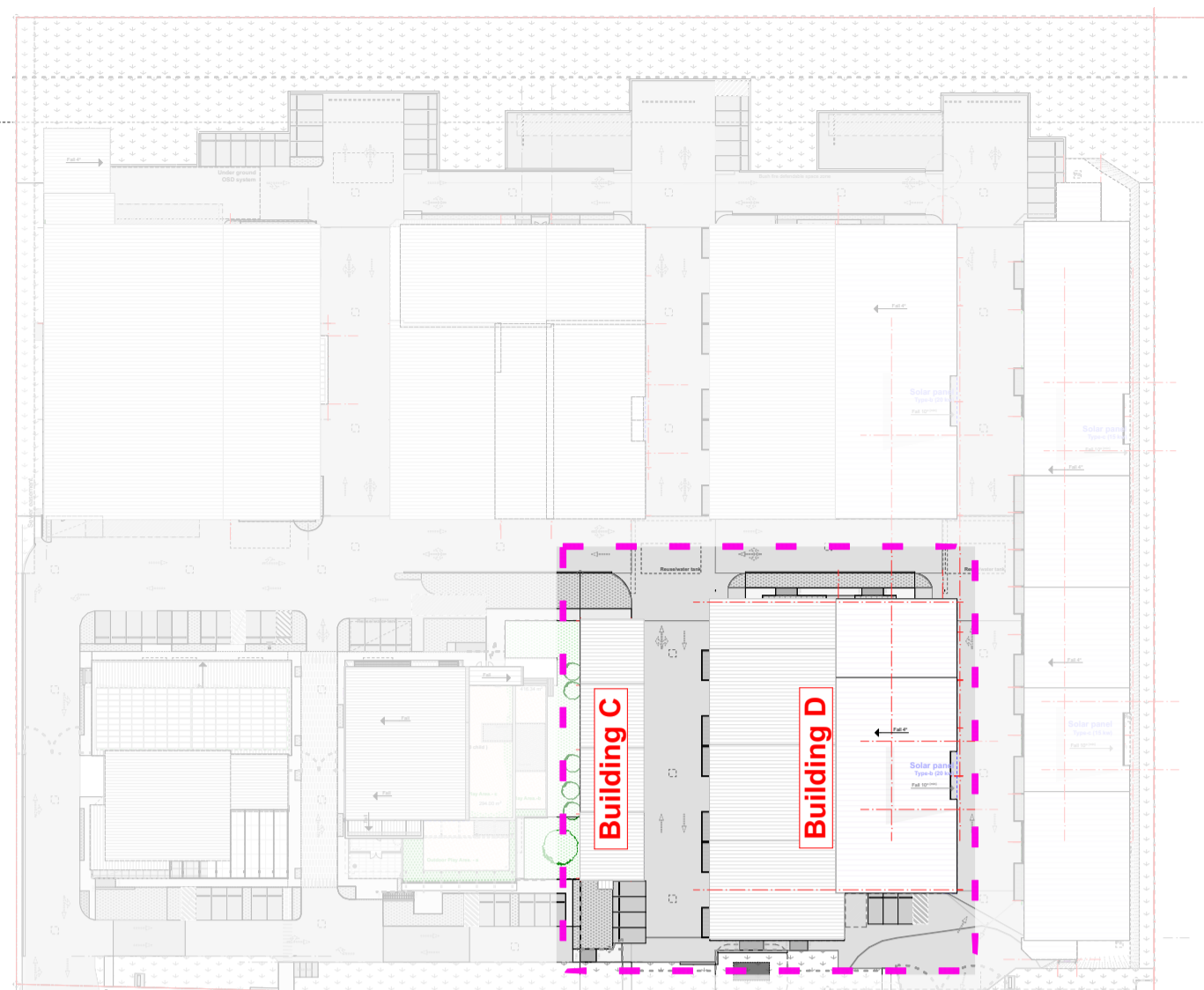


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Kiama, NSW, AUSTRALIA, 2533  
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DRAWING TITLE:  
**Floor Plans (Building C&D / Warehouse Zone)**  
DRAWN: JK  
CHKD: MH  
PROJECT NO.: 8756  
DATE: 3/7/20  
DRAWING NO.: A.2005  
STATUS: DA  
SCALE: @A1  
1:200  
05



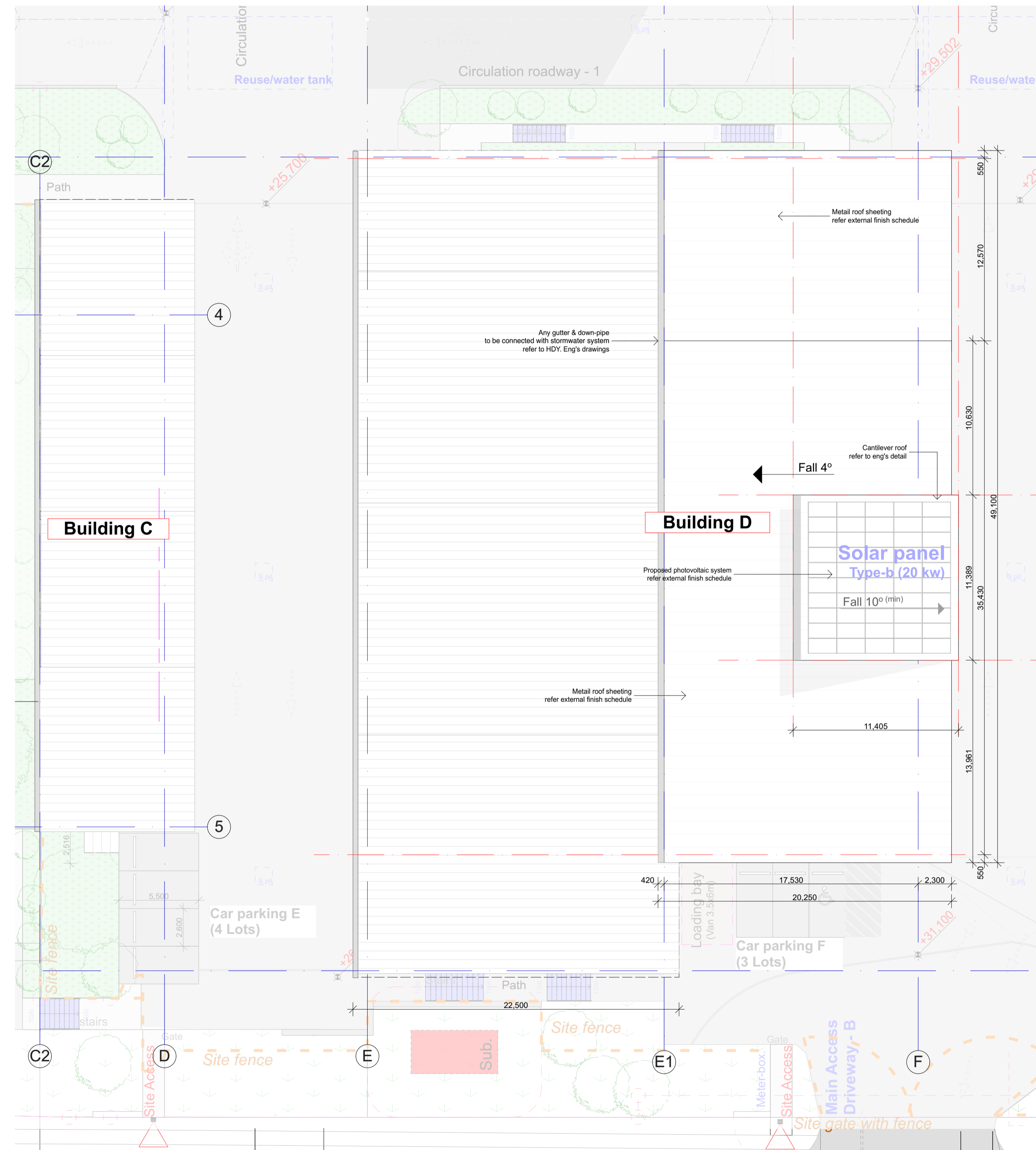


Key Site Plan.

**COLOUR SCHEDULE LEGEND FOR UNIT TYPES.**

**Warehouse zones**

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**1 Mezzanine Floor Layout (Building C & D) 1:200**

**NOTE:**

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**No DATE AMENDMENT**

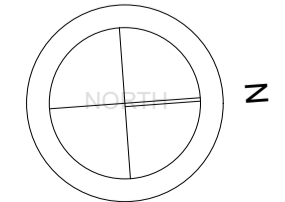
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**No DATE AMENDMENT**


**PROJECT PROPOSED MIXED USE LIGHT INDUSTRIAL PARK DEVELOPMENT**

SITE:  
**27 Sunny Bank Road, Lisarow, NSW  
Lot 1, DP 880254**

CLIENT:  
**Palladium Property Services Pty Ltd**



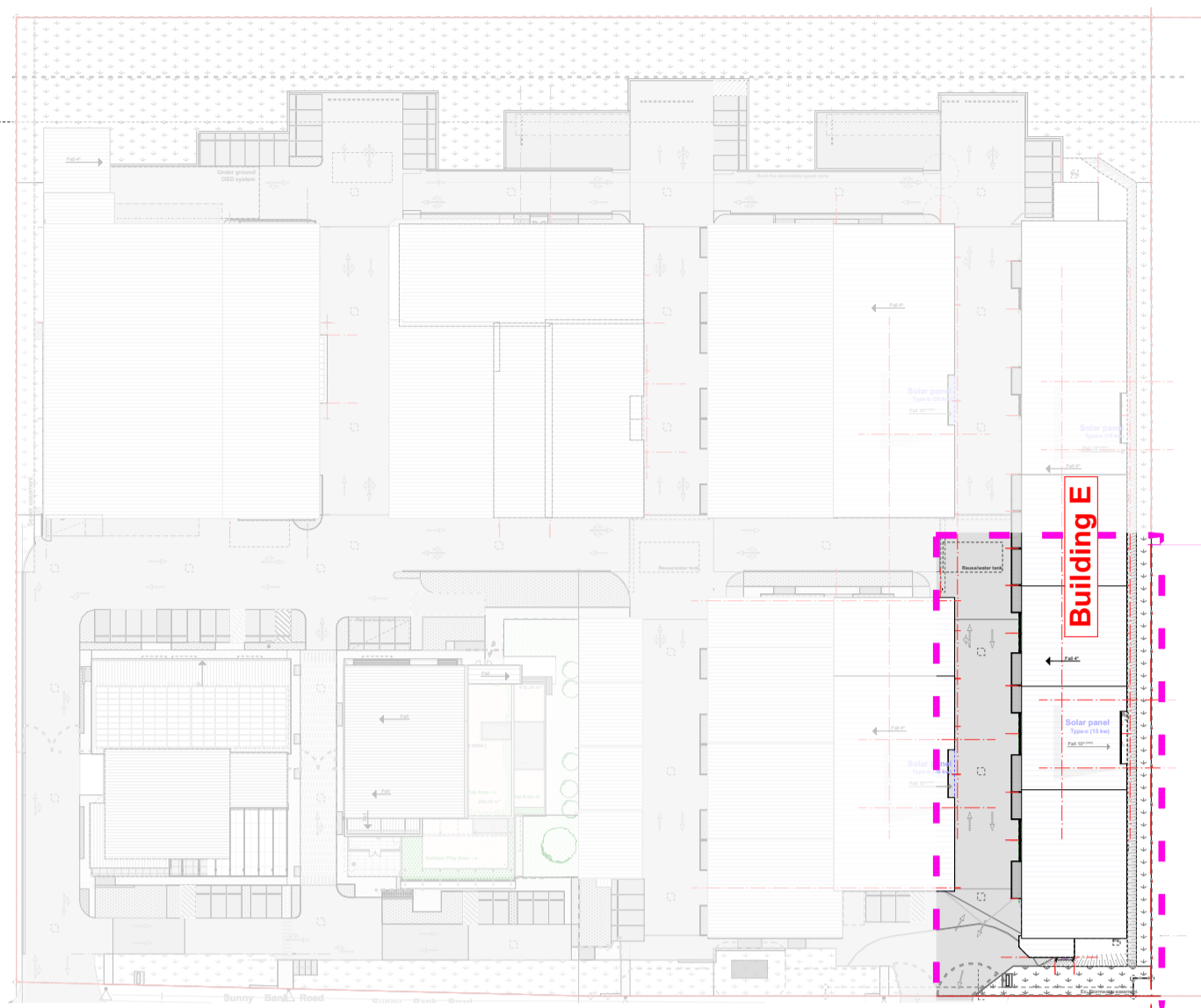
**BHI ARCHITECTS PTY LTD**  
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**WOLLONGONG**  
**KIAMA**  
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Kiama, NSW, AUSTRALIA, 2533  
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DRAWING TITLE: **Floor Plans (Building C&D / Warehouse Zone)**

STATUS: <b>DA</b>			
DRAWN: <b>JK</b>	CHKD: <b>MH</b>	DATE: <b>3/7/20</b>	SCALE: <b>@A1</b>
PROJECT NO. <b>8756</b>	DRAWING NO. <b>A.2006</b>	<b>05</b>	



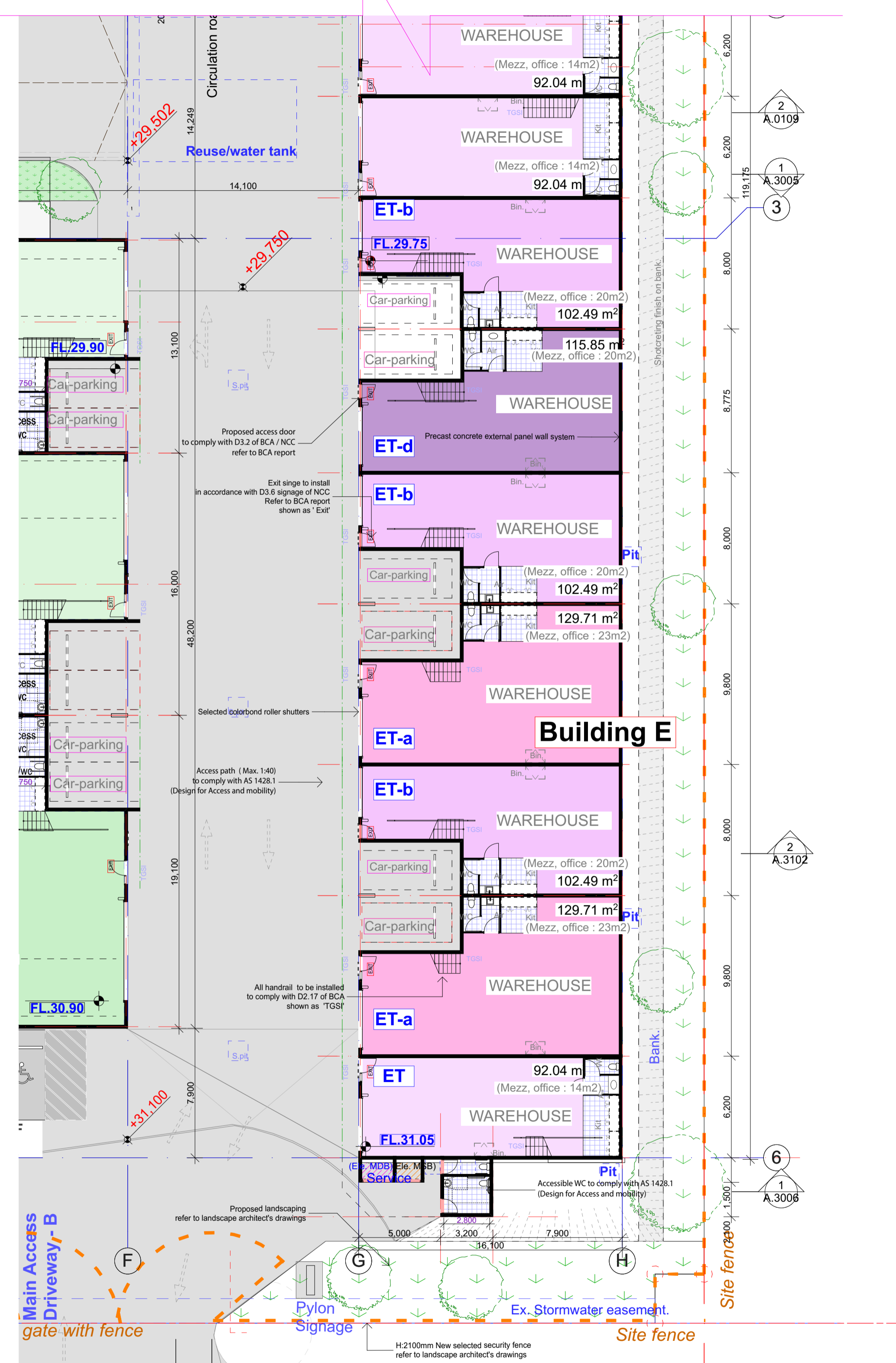


Key Site Plan.

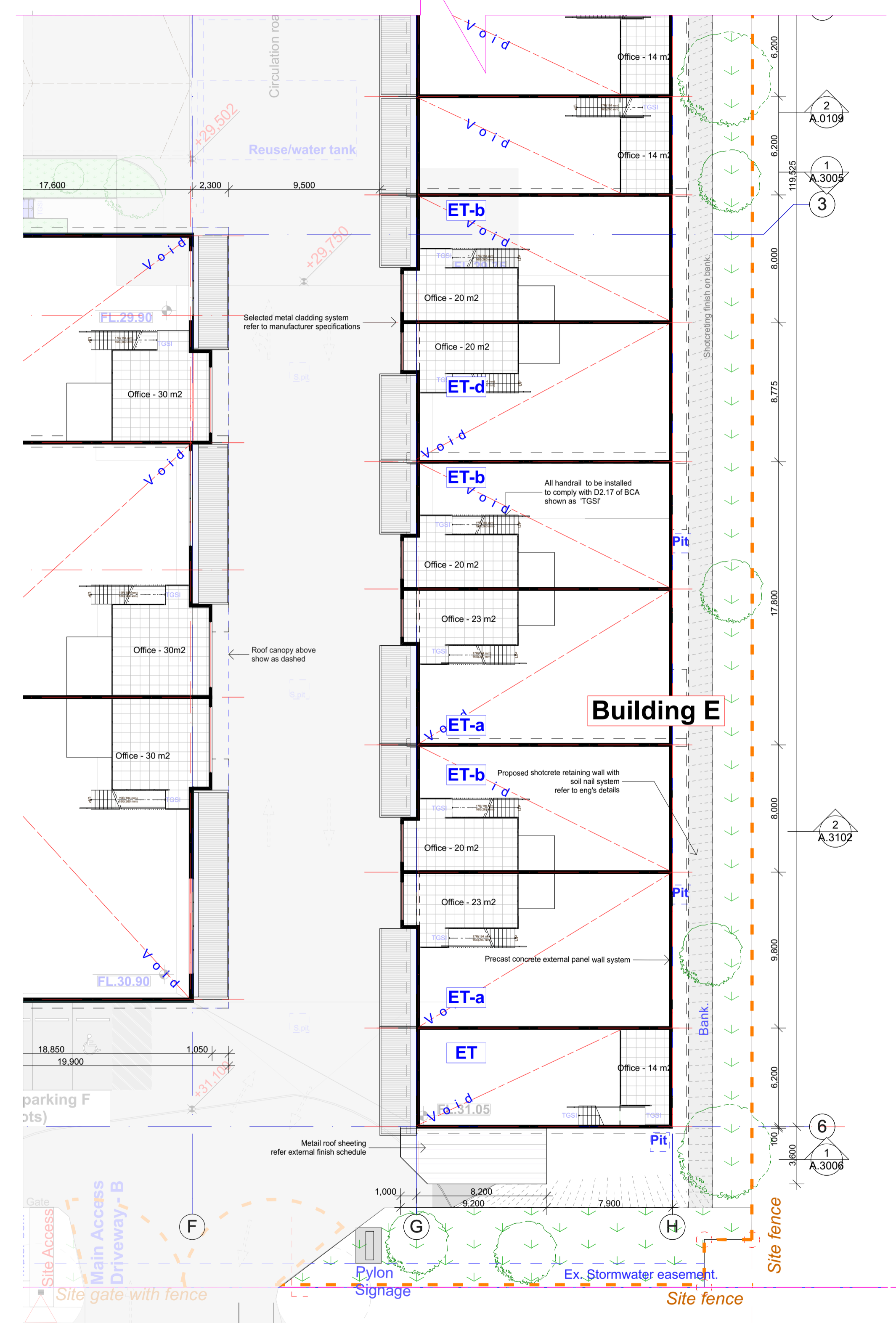
**COLOUR SCHEDULE LEGEND FOR UNIT TYPES.**

**Warehouse zones**

- (ET) : Enterprise unit (warehouse)  
Warehouse ( 92m<sup>2</sup>) area at ground level  
Office (14m<sup>2</sup>) at first floor level  
Total floor area: 106 m<sup>2</sup>  
( 1 lot car parking )
- (ET-a) : Enterprise unit (warehouse)  
Warehouse ( 102m<sup>2</sup>) area at ground level  
Office ( 20m<sup>2</sup>) at first floor level  
Total floor area: 122 m<sup>2</sup>  
( 1 lot car parking )
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Warehouse ( 130 m<sup>2</sup>) area at ground level  
Office (23m<sup>2</sup>) at first floor level  
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Office ( 20m<sup>2</sup>) at first floor level  
Total floor area: 136 m<sup>2</sup>  
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- (WA 1) : Warehouse unit A  
Warehouse ( 192m<sup>2</sup>) area at ground level  
Office (30m<sup>2</sup>) at first floor level  
Total floor area: 222m<sup>2</sup>  
( 2 lot car parking )
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( 2 lot car parking )



1 Ground Layout Plan / east (Building E) 1:200



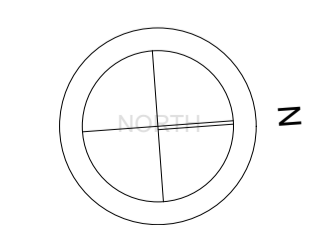
2 Mezzanine Floor Plan / east (Building E) 1:200

NOTE:  
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2. PROVIDE CERTIFIED TERMITE BARRIER SYSTEM TO AS 3600.  
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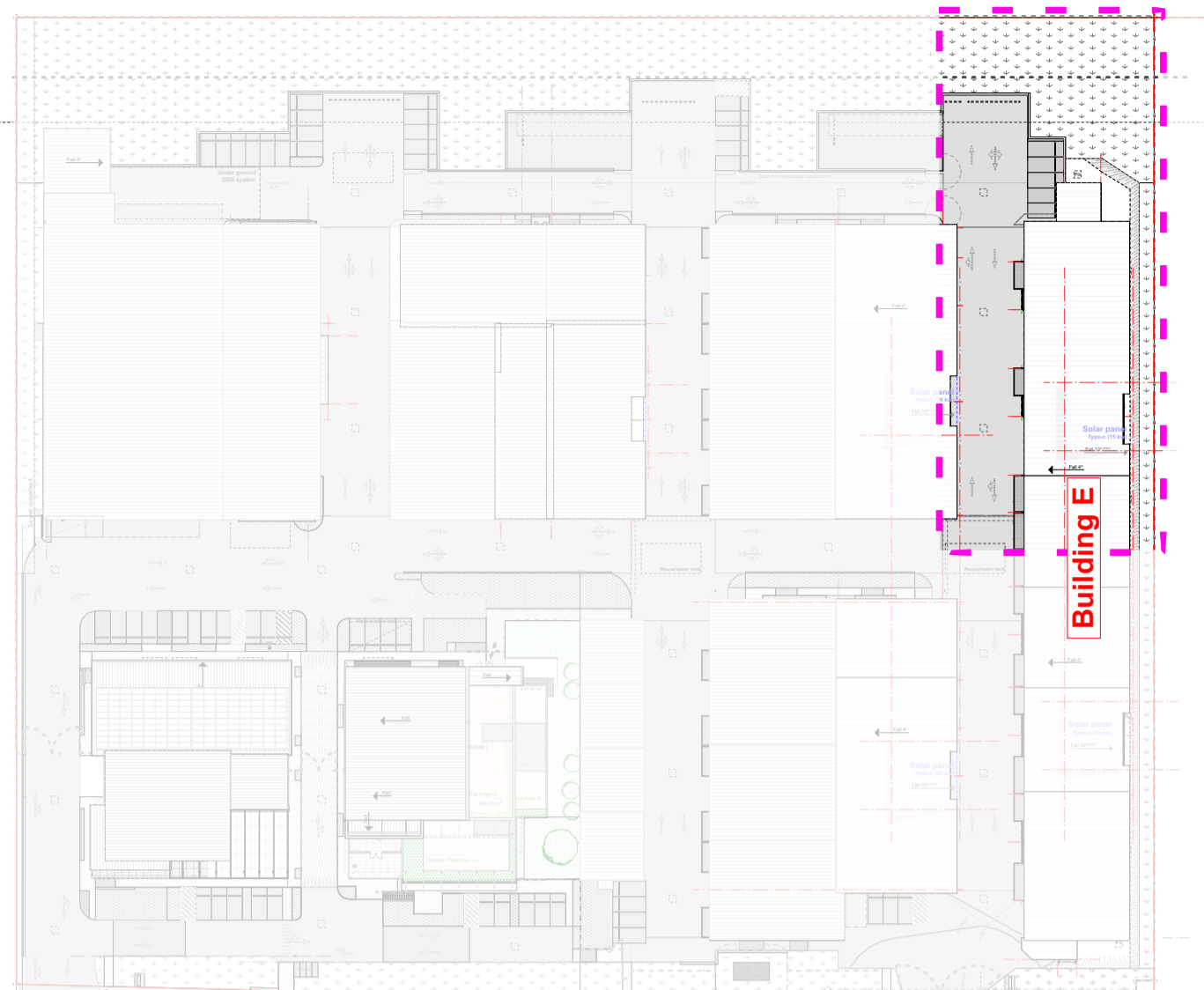


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DRAWING TITLE:  
**Floor Plans (Building E / Warehouse Zone)**  
DRAWN: JK  
CHKD: MH  
DATE: 3/7/20  
PROJECT NO.: 8756  
STATUS: **DA**  
SCALE: @A1  
1:200  
DRAWING NO.: **A.2007**  
**05**



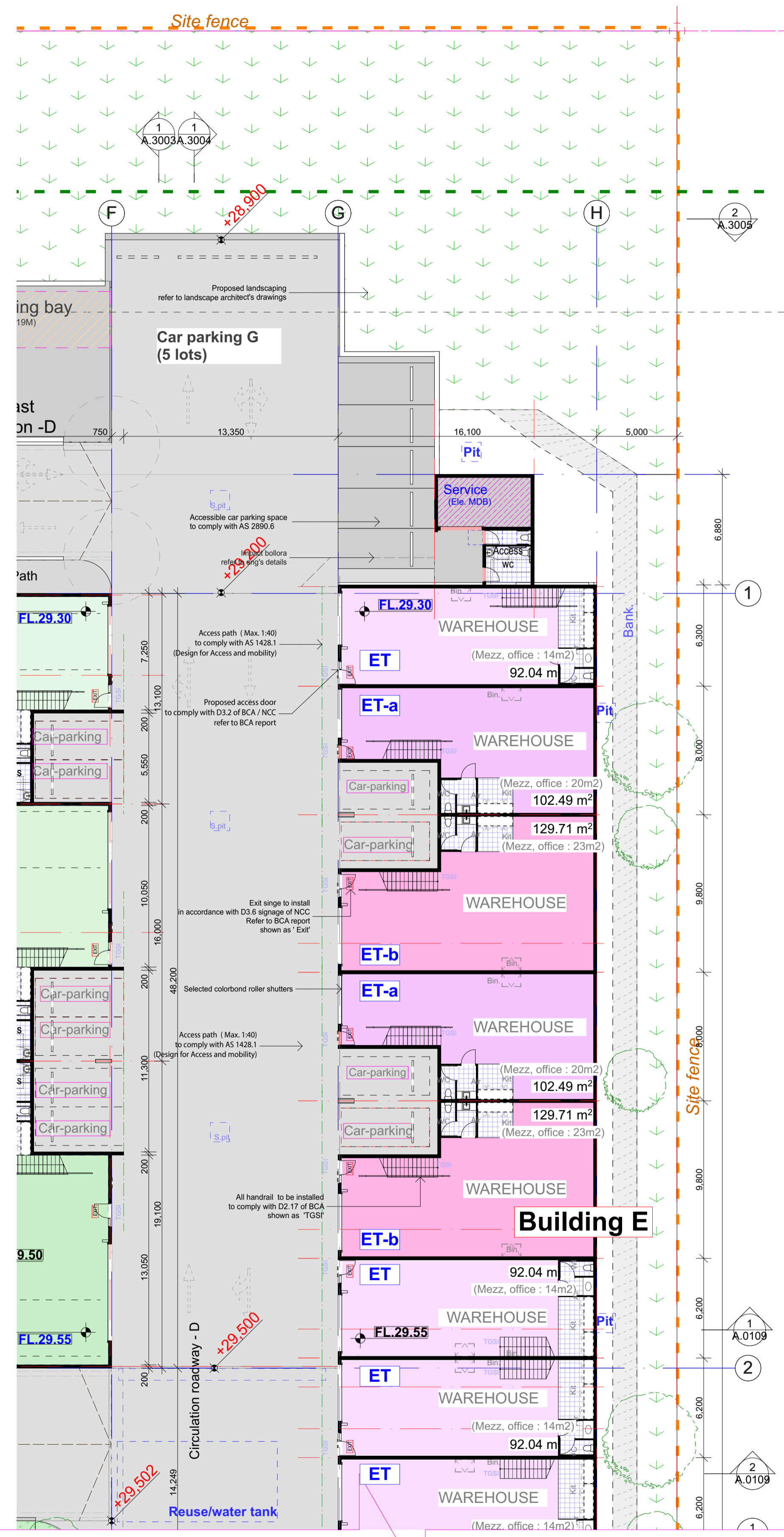


Key Site Plan.

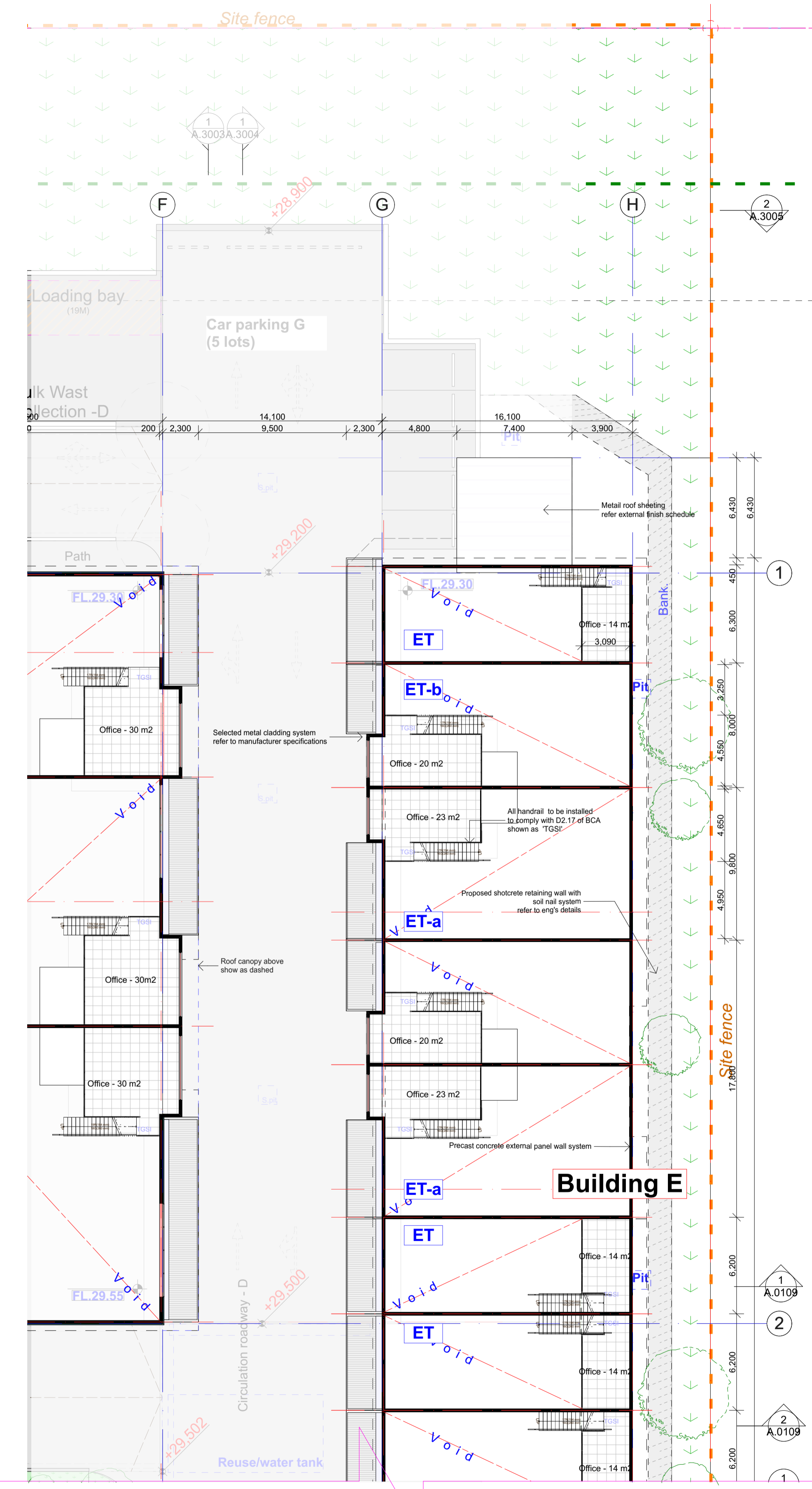
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1 Ground Layout Plan / west (Building E) 1:200



2 Mezzanine Floor Plan / west (Building E) 1:200

NOTE:  
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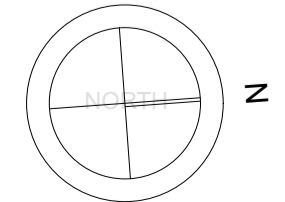
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DRAWING TITLE:		STATUS: <b>DA</b>	
<b>Floor Plans (Building E / Warehouse Zone)</b>			
DRAWN	CHKD	DATE	SCALE: @A1
JK	MH	3/7/20	1:200
PROJECT NO.	DRAWING NO.		
8756	<b>A.2008</b>	<b>05</b>	



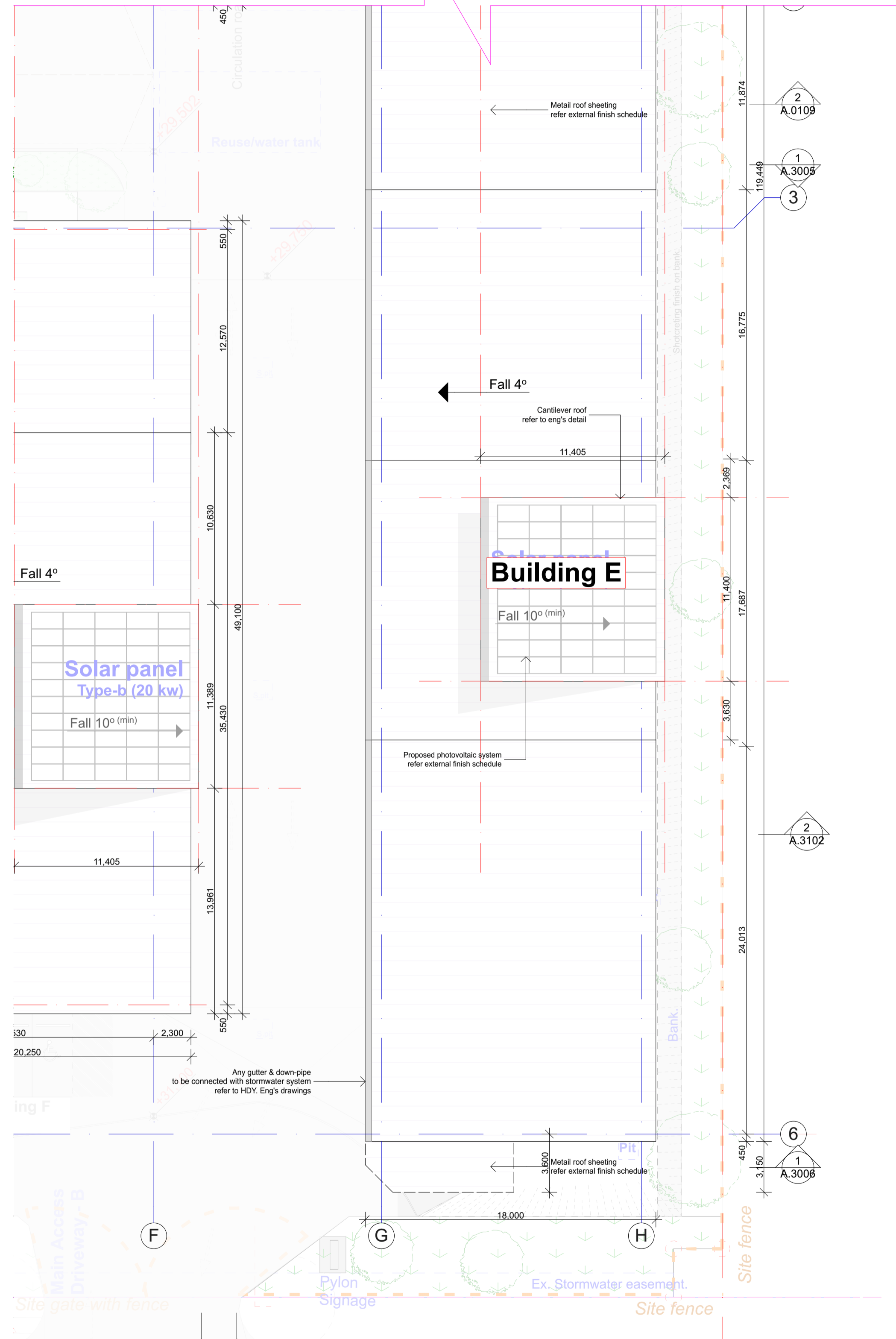


Key Site Plan.

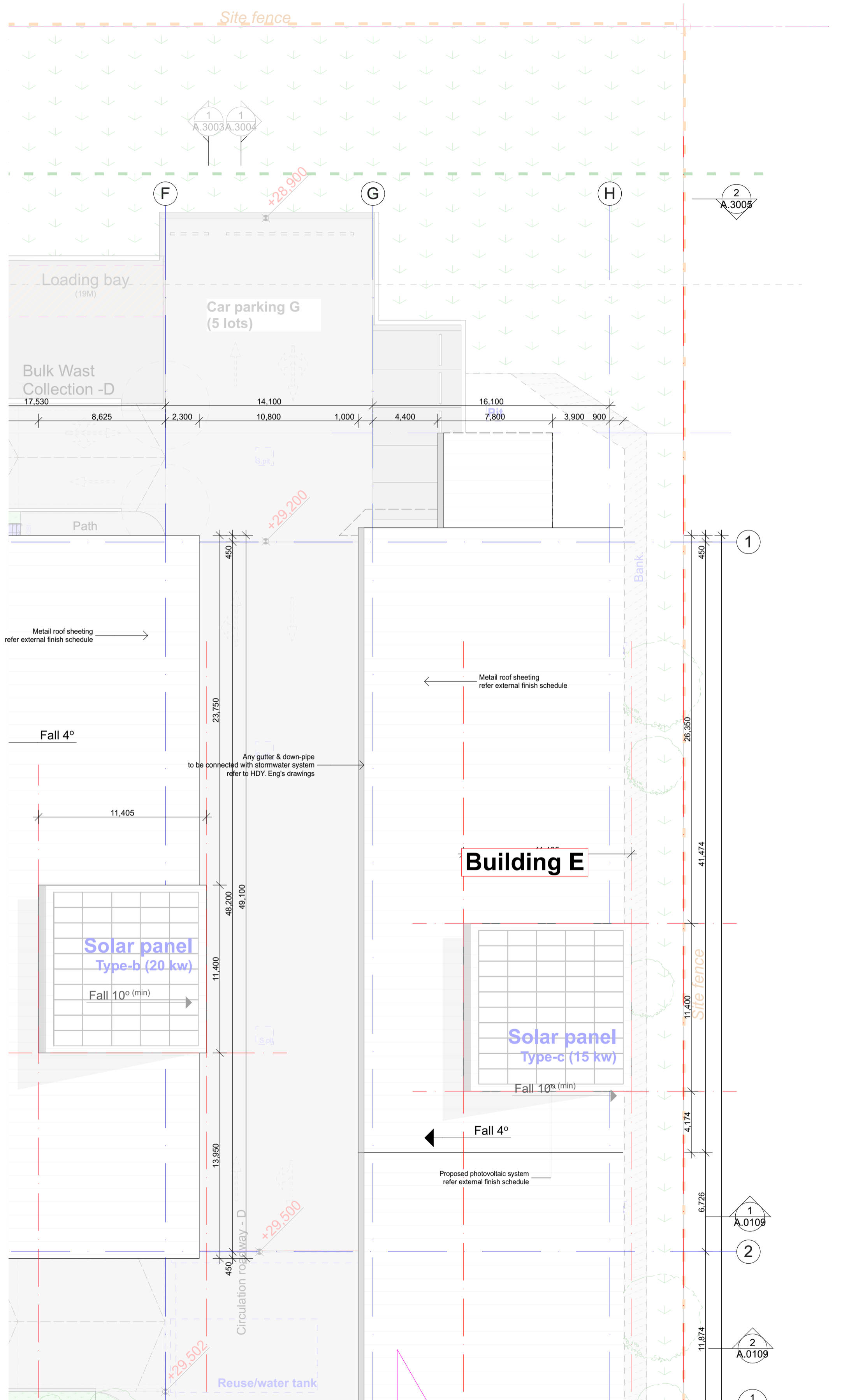
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**2 Roof layout / east (Building E) 1:200**



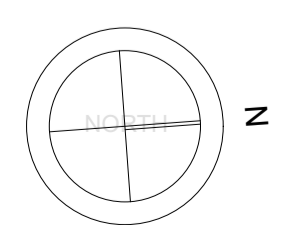
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NOTE:  
1. TIMBER FRAMING AND WIND BRACING TO COMPLY WITH AS1684 AND TO NSW TIMBER FRAMING MANUAL AMENDED TO SUIT WIND TERRAIN CATEGORY 3.  
2. PROVIDE CERTIFIED TERMITE BARRIERS SYSTEMS TO AS 3660.  
3. SELECTED WINDOWS AND DOORS TO SUIT DESIGNATED WIND TERRAIN CATEGORY.  
4. ALL SITE CONDITIONS INCLUDING LEVELS TO BE CONFIRMED, AND ANY DISCREPANCIES TO BE REFERRED TO ARCHITECT PRIOR TO COMMENCEMENT.  
5. DO NOT SCALE THE DRAWING. USE DIMENSIONED LINES.  
6. CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATING ANY ITEM.  
7. DRAWINGS TO BE CHECKED AND CERTIFIED BY A PRACTISING STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.  
8. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT.

No	DATE	AMENDMENT
01	10.01.20	Issue for consultation coordination.
02	10.03.20	Issue for consultation coordination.
03	04.04.20	Issue for consultation coordination.
04	04.06.20	Issue for final coordination.
05	24.06.20	Issue for DA submission.

No	DATE	AMENDMENT

PROJECT  
**PROPOSED MIXED USE LIGHT INDUSTRIAL PARK DEVELOPMENT**  
SITE:  
**27 Sunny Bank Road, Lisarow, NSW  
Lot 1, DP 880254**  
CLIENT:  
**Palladium Property Services Pty Ltd**



**BHI ARCHITECTS PTY LTD**  
SYDNEY  
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WOLLONGONG  
K I A M A  
41/25 Terralong Street,  
Kiama, NSW, AUSTRALIA, 2533  
T: +612 4232 2125

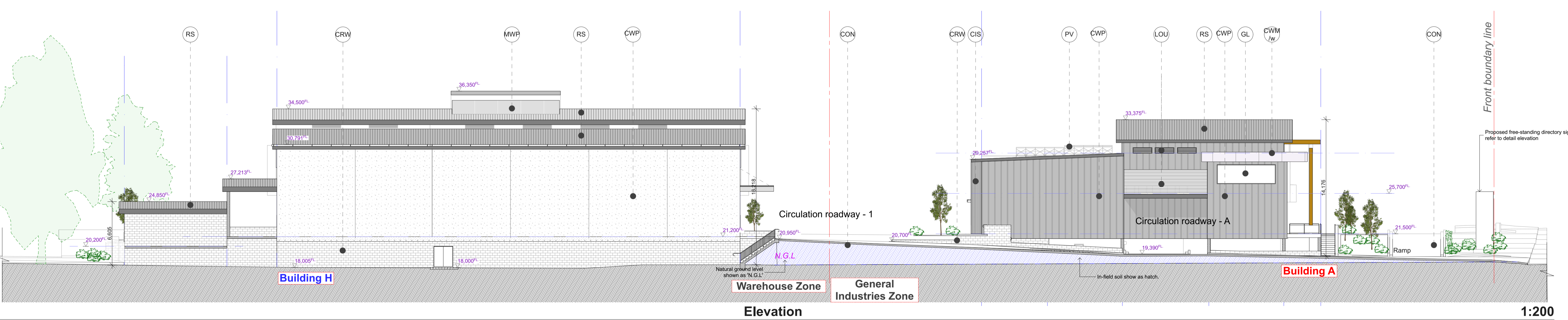
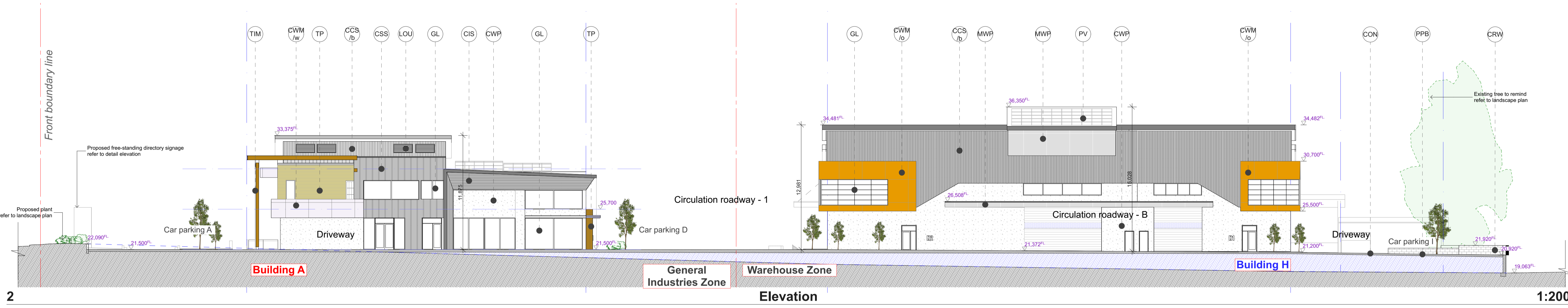


DRAWING TITLE:  
**Floor Plans (Building E / Warehouse Zone)**  
DRAWN: JK  
CHKD: MH  
DATE: 3/7/20  
PROJECT NO.: 8756  
STATUS: **DA**  
SCALE: @A1  
1:200  
DRAWING NO.: **05**



External materials and colour schedule

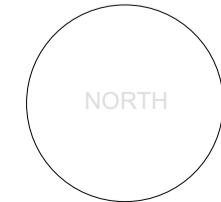
Abbrev.	Image	Colour	Item	LOV	Image	Item	LMP.	Image	Item
PV.			Photovoltaic panels system on roof By third party	TP.		Timber look metal cladding system.	LMP.		Low-maintenance shrub or plant on garden Refer to Landscape drawings
RS.			Metal roof sheeting system. COLORBOND colour range	MWP.		Matrix wall cladding system. ( or similar system ) External paint P4: Dulux 'Natural White W' or similar	SRW.		Stone retaining wall Charcoal colour or similar
TIM.			External timber or timber look posts	CWP.		Concrete precast panel finish for wear-house zone area External paint P3: Dulux 'Grey Pail' or bare finish	CRW.		Concrete block-wall retaining wall Faced Block or similar
CWM.			Composite wall metal cladding 'Orange ' or similar	TPF.		Paint or textured finished wall system. ( or similar system ) External paint P1: Dulux 'Antique D' or similar P2: Dulux 'Domino' or similar	PPB.		Permeable paving for car-prking space light gray colour or similar
CIS.			Colourbond wall sheeting system - Metal Interlocking Cladding or similar sheeting system	GL.		Low-E glazing in natural anodised aluminium or match with wall colour frames	CON.		Concert on road
CCS.			- COLORBOND Corrugated or similar sheeting system	GBA.		Frameless toughened glass balustrade S.steel or S.anodised aluminium rail	ASP.		Asphalt finish on road
CSS.			- COLORBOND® steel Matt or similar sheeting system	FEN.		Tubular fencing COLORBOND colour range			



**NOTE:**  
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 2. PROVIDE CERTIFIED TERRACE BARRIER SYSTEMS TO AS 3600.  
 3. SELECTED WINDOWS AND DOORS TO SUIT DESIGNATED WIND TERRAIN CATEGORY.  
 4. ALL SITE CONDITIONS INCLUDING LEVELS TO BE CONFIRMED, AND ANY DISCREPANCIES TO BE REFERRED TO ARCHITECT PRIOR TO COMMENCEMENT.  
 5. DO NOT SCALE THE DRAWING. USE DIMENSIONED DIMENSIONS.  
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03	04.04.20	Issue for consultation coordination.			
04	04.06.20	Issue for final coordination.			
05	24.06.20	Issue for DA submission.			

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 Palladium Property Services Pty Ltd



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 4125 Terralong Street,  
 Kiama, NSW, AUSTRALIA, 2533  
 T: +612 4232 2125



**DRAWING TITLE:**  
 Elevations.  
**STATUS:** DA  
**SCALE:** @A1  
**DATE:** 3/7/20  
**DRAWING NO.:** 05  
**PROJECT NO.:** 8756  
**DATE:** 3/7/20  
**DRAWING NO.:** A.3001

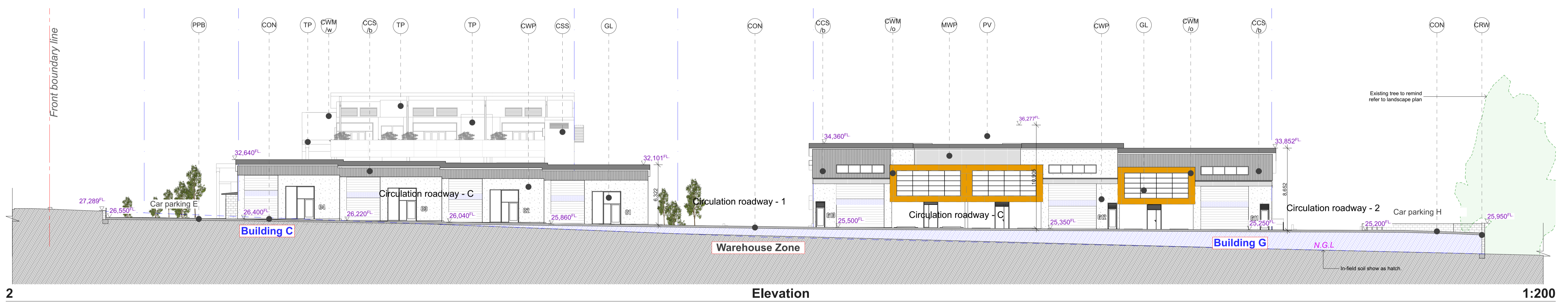


External materials and colour schedule

Abbrev.	Image	Colour	Item
PV.			Photovoltaic panels system on roof By third party
RS.			Metal roof sheeting system. COLORBOND colour range
TIM.			External timber or timber look posts
CWM.			Composite wall metal cladding Orange or similar
CIS.			Colourbond wall sheeting system Pure white or similar
CCS.			Metal Interlocking Cladding or similar sheeting system
CCS.			COLORBOND Corrugated or similar sheeting system
CSS.			COLORBOND® steel Matt or similar sheeting system

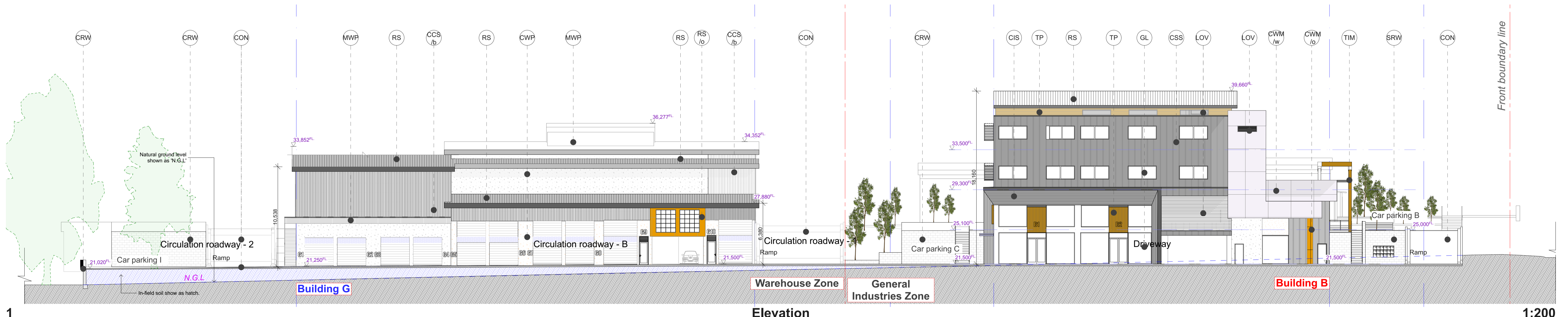
LOV	Image	Item
LOV		External Aluminum Louvers Pure white or similar
TP.		Timber look metal cladding system.
MWP.		Matrix wall cladding system. ( or similar system ) External paint P4: Dulux 'Natural White W' or similar
CWP.		Concrete precast panel finish for wear-house zone area External paint P3: Dulux 'Grey Pail' or bare finish
TPF.		Paint or textured finished wall system. ( or similar system ) External paint P1: Dulux 'Antique D' or similar P2: Dulux 'Domino' or similar
GL.		Low-E glazing in natural anodised aluminium or match with wall colour frames
GBA.		Frameless toughened glass balustrade S.steel or S.anodised aluminium rail
FEN.		Tubular fencing COLORBOND colour range

LMP.	Image	Item
LMP.		Low-maintenance shrub or plant on garden Refer to Landscape drawings
SRW.		Stone retaining wall Charcoal colour or similar
CRW.		Concrete block-wall retaining wall Faced Block or similar
PPB.		Permeable paving for car-parking space light gray colour or similar
CON.		Concert on road
ASP.		Asphalt finish on road



Elevation

1:200



Elevation

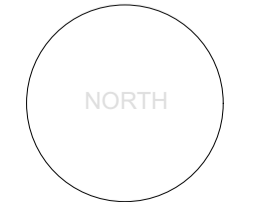
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NOTE:  
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 2. PROVIDE CERTIFIED TERMITE BARRIER SYSTEM TO AS 3600.  
 3. SELECTED WINDOWS AND DOORS TO SUIT DESIGNATED WIND TERRAIN CATEGORY.  
 4. ALL SITE CONDITIONS INCLUDING LEVELS TO BE CONFIRMED, AND ANY DISCREPANCIES TO BE REFERRED TO ARCHITECT PRIOR TO COMMENCEMENT.  
 5. DO NOT SCALE THE DRAWING. USE FIGURED DIMENSIONS.  
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03	04.04.20	Issue for consultation coordination.
04	04.06.20	Issue for final coordination.
05	24.06.20	Issue for DA submission.

No	DATE	AMENDMENT

PROJECT  
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 SITE:  
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 CLIENT:  
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DRAWING TITLE:  
**Elevations.**  
 DRAWN: JK  
 CHKD: MH  
 PROJECT NO.: 8756  
 DATE: 3/7/20  
 DRAWING NO.: A.3002  
 STATUS: DA  
 SCALE: @A1  
 1:200  
**05**

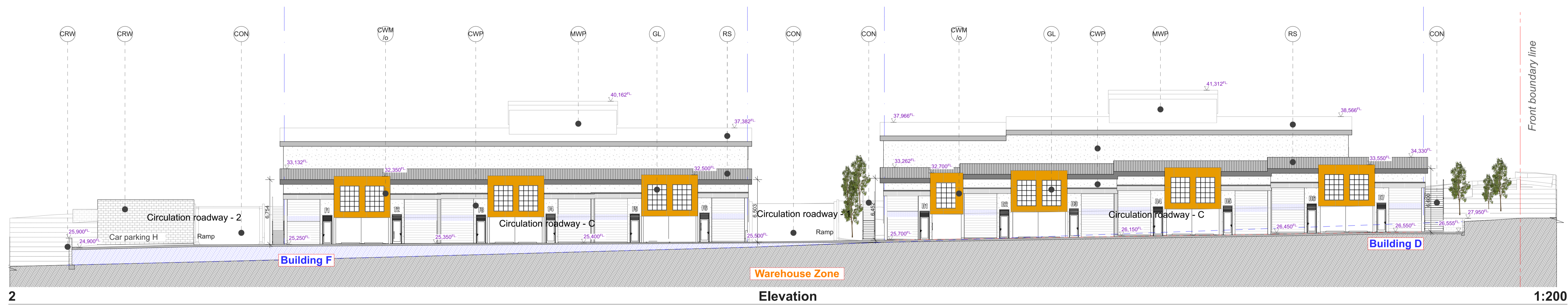


External materials and colour schedule

Abbrev.	Image	Colour	Item
PV.			Photovoltaic panels system on roof By third party
RS.			Metal roof sheeting system. COLORBOND colour range
TIM.			External timber or timber look posts
CWM.			Composite wall metal cladding Orange or similar
CIS.			Colourbond wall sheeting system Pure white or similar
CCS.			Metal Interlocking Cladding or similar sheeting system
CCS.			COLORBOND Corrugated or similar sheeting system
CSS.			COLORBOND® steel Matt or similar sheeting system

LOV	Image	Item
LOV		External Aluminum Louvers Pure white or similar
TP.		Timber look metal cladding system.
MWP.		Matrix wall cladding system. ( or similar system ) External paint P4: Dulux 'Natural White W' or similar
CWP.		Concrete precast panel finish for wear-house zone area External paint P3: Dulux 'Grey Pail' or bare finish
TPF.		Paint or textured finished wall system. ( or similar system ) External paint P1: Dulux 'Antique D' or similar P2: Dulux 'Domino' or similar
GL.		Low-E glazing in natural anodised aluminium or match with wall colour frames
GBA.		Frameless toughened glass balustrade S.steel or S.anodised aluminium rail
FEN.		Tubular fencing COLORBOND colour range

LMP.	Image	Item
LMP.		Low-maintenance shrub or plant on garden Refer to Landscape drawings
SRW.		Stone retaining wall Charcoal colour or similar
CRW.		Concrete block-wall retaining wall Faced Block or similar
PPB.		Permeable paving for car-parking space light gray colour or similar
CON.		Concert on road
ASP.		Asphalt finish on road

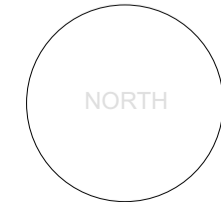


NOTE:  
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2. PROVIDE CERTIFIED TERMITE BARRIERS SYSTEM AS 3660.  
3. SELECTED WINDOWS AND DOORS TO SUIT DESIGNATED WIND TERRAIN CATEGORY.  
4. ALL SITE CONDITIONS INCLUDING LEVELS TO BE CONFIRMED, AND ANY DISCREPANCIES TO BE REFERRED TO ARCHITECT PRIOR TO COMMENCEMENT.  
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No DATE AMENDMENT

PROJECT  
**PROPOSED MIXED USE LIGHT INDUSTRIAL PARK DEVELOPMENT**  
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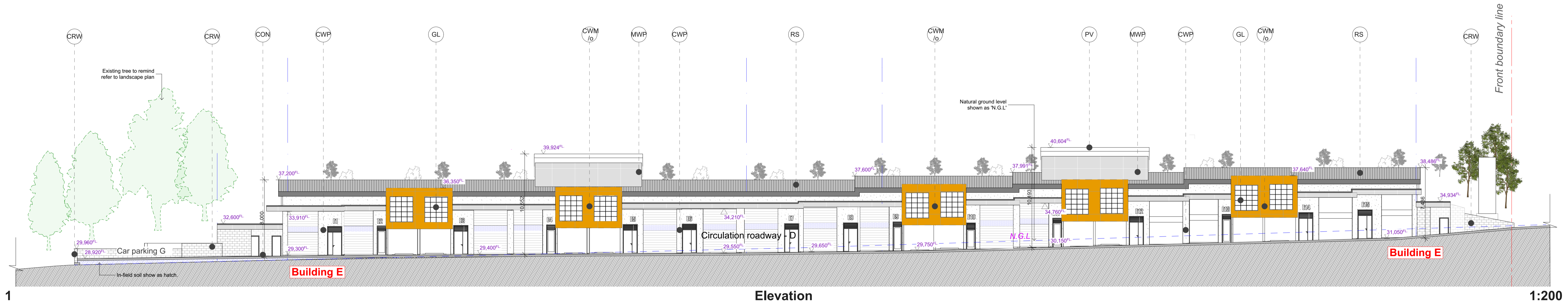
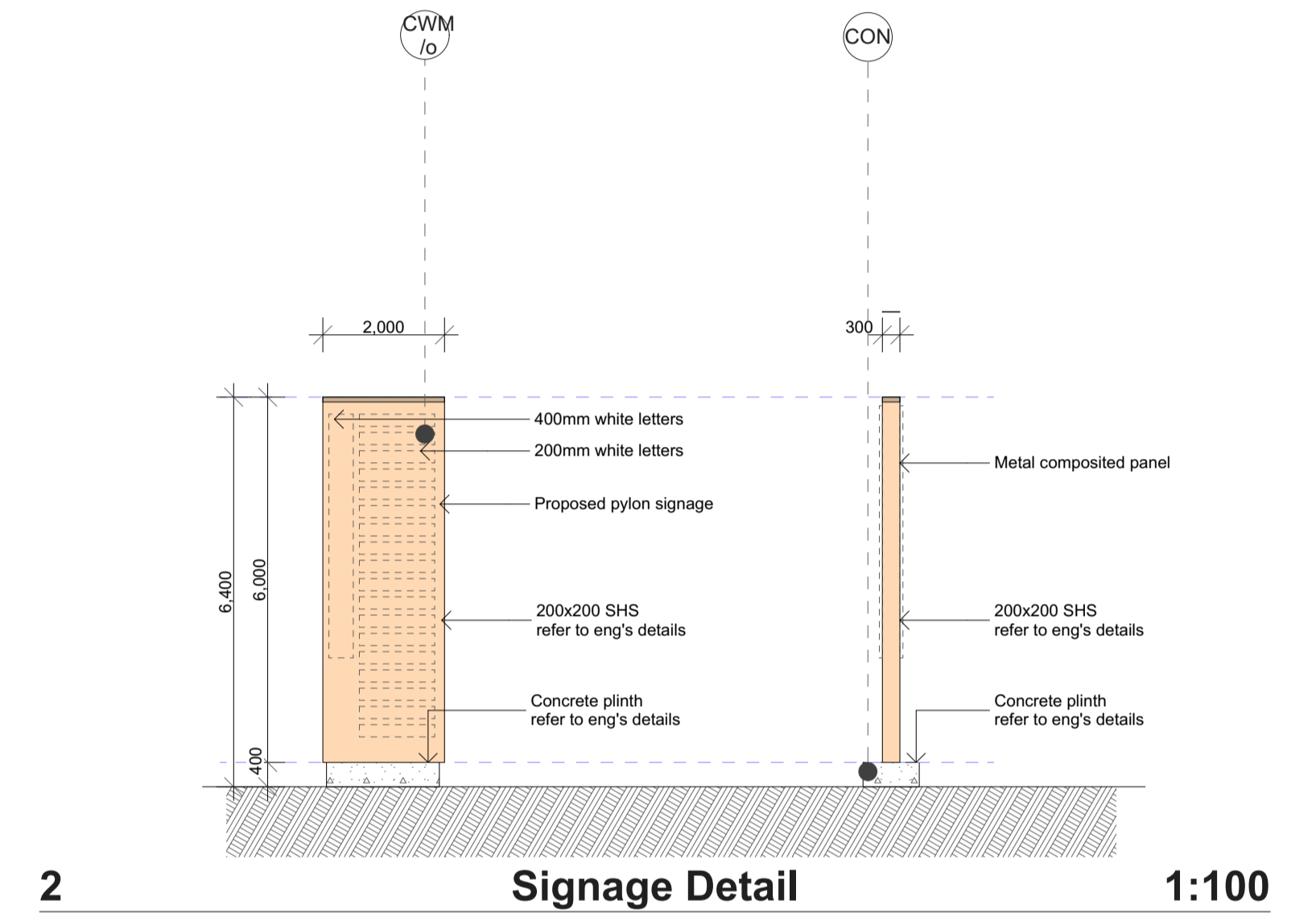
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DRAWN: JK DATE: 3/7/20 SCALE: @A1  
CHKD: MH  
PROJECT NO.: 8756 DRAWING NO.: A.3003  
05



Abbrev.	Image	Colour	Item
PV.			Photovoltaic panels system on roof By third party
RS.			Metal roof sheeting system. COLORBOND colour range
TIM.			External timber or timber look posts
CWM.			Composite wall metal cladding Orange or similar
CIS.			Colourbond wall sheeting system Pure white or similar
CCS.			Metal Interlocking Cladding or similar sheeting system
CCS.			COLORBOND Corrugated or similar sheeting system
CSS.			COLORBOND® steel Matt or similar sheeting system

LOV.			External Aluminum Louvers Pure white or similar
TP.			Timber look metal cladding system.
MWP.			Matrix wall cladding system. ( or similar system ) External paint P4: Dulux 'Natural White W' or similar
CWP.			Concrete precast panel finish for wear-house zone area External paint P3: Dulux 'Grey Pail' or bare finish
TPF.			Paint or textured finished wall system. ( or similar system ) External paint P1: Dulux 'Antique D' or similar P2: Dulux 'Domino' or similar
GL.			Low-E glazing in natural anodised aluminium or match with wall colour frames
GBA.			Frameless toughened glass balustrade S.steel or S.anodised aluminium rail
FEN.			Tubular fencing COLORBOND colour range

LMP.			Low-maintenance shrub or plant on garden Refer to Landscape drawings
SRW.			Stone retaining wall Charcoal colour or similar
CRW.			Concrete block-wall retaining wall Faced Block or similar
PPB.			Permeable paving for car-prking space light gray colour or similar
CON.			Concert on road
ASP.			Asphalt finish on road



**NOTE:**

- TIMBER FRAMING AND WIND BRACING TO COMPLY WITH AS1851 AND TO NSW TIMBER FRAMING MANUAL AMENDED TO SUIT WIND TERRAIN CATEGORY 2.
- PROVIDE CERTIFIED TERMITE BARRIER SYSTEM TO AS 3600.
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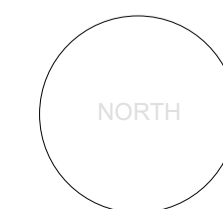
No	DATE	AMENDMENT
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04	04.06.20	Issue for final coordination.
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No	DATE	AMENDMENT

PROJECT  
**PROPOSED MIXED USE LIGHT INDUSTRIAL PARK DEVELOPMENT**

SITE:  
**27 Sunny Bank Road, Lisarow, NSW  
Lot 1, DP 880254**

CLIENT:  
**Palladium Property Services Pty Ltd**



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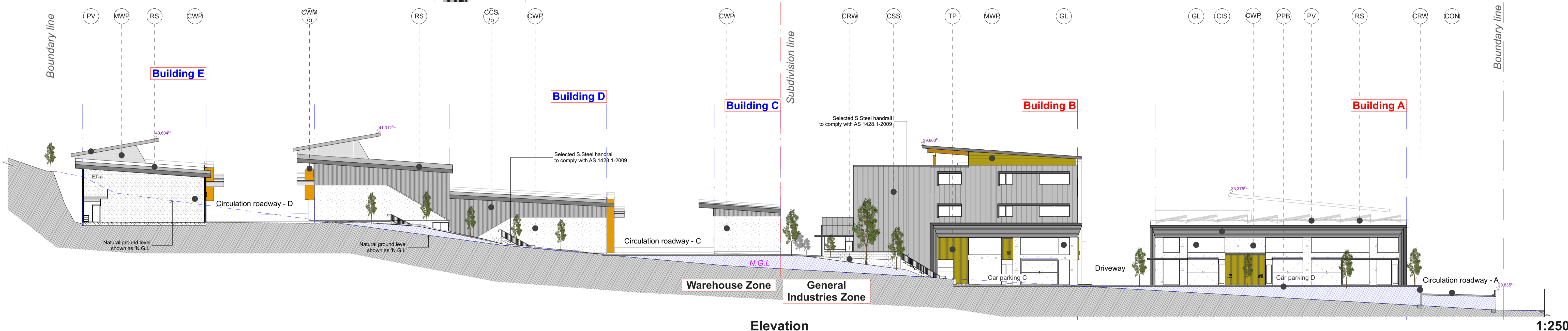


DRAWING TITLE:		STATUS: DA	
<b>Elevations.</b>			
DRAWN	CHKD	DATE	SCALE: @A1
JK	MH	3/7/20	1:200, 1:100
PROJECT NO.	DRAWING NO.		
8756	<b>A.3004</b>	<b>05</b>	



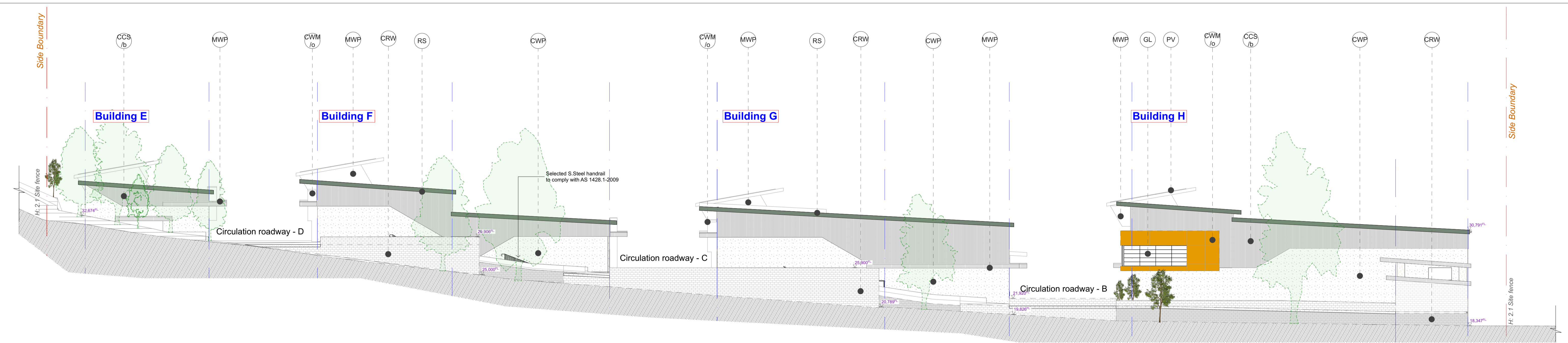
External materials and colour schedule

Abbrev.	Image	Colour	Item	LOV	Image	Item	LMP.	Image	Item
PV.			Photovoltaic panels system on roof By third party			External Aluminum Louvers *Pure white * or similar			Low-maintenance shrub or plant on garden Refer to Landscape drawings
RS.			Metal roof sheeting system. COLORBOND colour range	TP.		Timber look metal cladding system.	SRW.		Stone retaining wall Charcoal colour or similar
TIM.			External timber or timber look posts	MWP.		Matrix wall cladding system. ( or similar system ) External paint P4: Dulux 'Natural White W' or similar	CRW.		Concrete block-wall retaining wall Faced Block or similar
CWM.		/o	Composite wall metal cladding *Orange * or similar	CWP.		Concrete precast panel finish for wear-house zone area External paint P3: Dulux 'Grey Pail' or bare finish	PPB.		Permeable paving for car-prking space light gray colour. or similar
CIS.		/w	Colourbond wall sheeting system	TPF.		Paint or textured finished wall system. ( or similar system ) External paint P1: Dulux 'Antique D' or similar P2: Dulux 'Domino' or similar	CON.		Concert on road
CCS.		/m	- Metal Interlocking Cladding or similar sheeting system	GL.		Low-E glazing in natural anodised aluminium or match with wall colour frames	ASP.		Asphalt finish on road
CSS.		/b	- COLORBOND Corrugated or similar sheeting system	GBA.		Frameless toughened glass balustrade S.steel or S.anodised aluminium rail			
CSS.		/s	- COLORBOND® steel Matt or similar sheeting system	FEN.		Tubular fencing COLORBOND colour range			



Elevation

1:250



Elevation

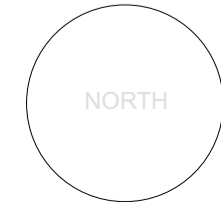
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NOTE:  
 1. TIMBER FRAMING AND WIND BRACING TO COMPLY WITH AS1851 AND TO NSW TIMBER FRAMING MANUAL AMENDED TO SUIT WIND TERRAIN CATEGORY 2.  
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 5. DO NOT SCALE THE DRAWING. USE DIMENSIONED DIMENSIONS.  
 6. CHECK ALL DIMENSIONS ON THE BUILDING FABRICATION DRAWING.  
 7. DRAWINGS TO BE CHECKED AND CERTIFIED BY A PRACTISING STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.  
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No	DATE	AMENDMENT

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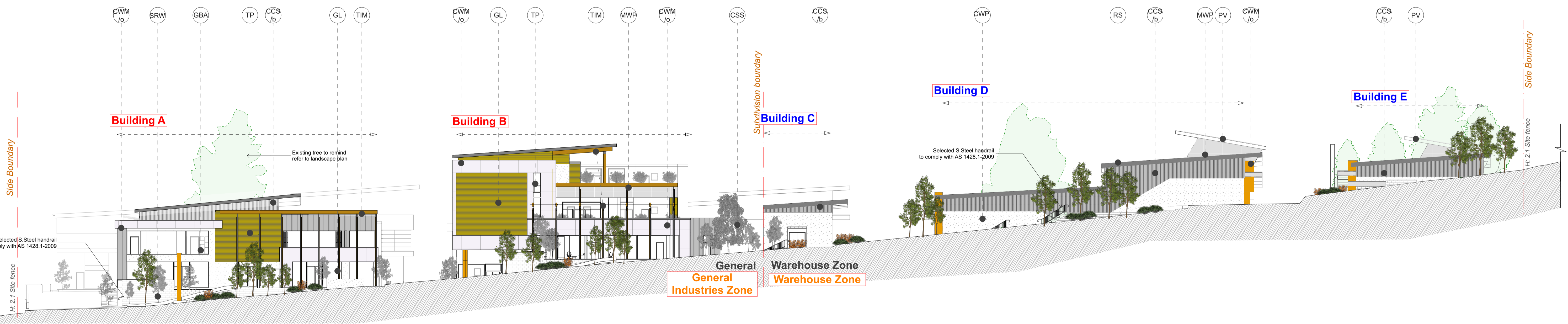
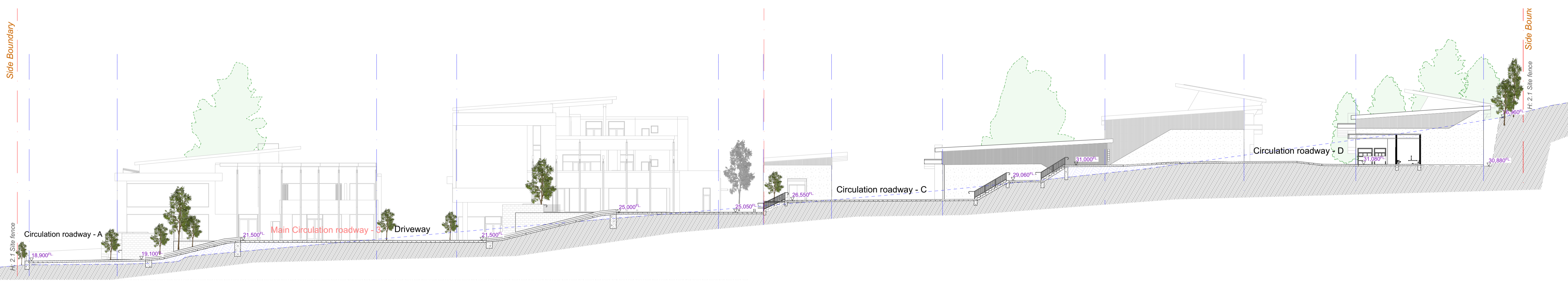
DRAWING TITLE:  
**Elevations.**  
 DRAWN: JK  
 CHKD: MH  
 DATE: 3/7/20  
 PROJECT NO.: 8756  
 STATUS: DA  
 SCALE: @A1  
 DRAWING NO.: A.3005  
 05



Abbrev.	Image	Colour	Item
PV.			Photovoltaic panels system on roof By third party
RS.			Metal roof sheeting system. COLORBOND colour range
TIM.			External timber or timber look posts
CWM.			Composite wall metal cladding Orange or similar
CIS.			Colourbond wall sheeting system Pure white or similar
CCS.			Metal Interlocking Cladding or similar sheeting system
CCS.			COLORBOND Corrugated or similar sheeting system
CSS.			COLORBOND® steel Matt or similar sheeting system

LOV.	Image	Item
LOV.		External Aluminum Louvers Pure white or similar
TP.		Timber look metal cladding system.
MWP.		Matrix wall cladding system. ( or similar system ) External paint P4: Dulux 'Natural White W' or similar
CWP.		Concrete precast panel finish for wear-house zone area External paint P3: Dulux 'Grey Pail' or bare finish
TPF.		Paint or textured finished wall system. ( or similar system ) External paint P1: Dulux 'Antique D' or similar P2: Dulux 'Domino' or similar
GL.		Low-E glazing in natural anodised aluminium or match with wall colour frames
GBA.		Frameless toughened glass balustrade S.steel or S.anodised aluminium rail
FEN.		Tubular fencing COLORBOND colour range

LMP.	Image	Item
LMP.		Low-maintenance shrub or plant on garden Refer to Landscape drawings
SRW.		Stone retaining wall Charcoal colour or similar
CRW.		Concrete block-wall retaining wall Faced Block or similar
PPB.		Permeable paving for car-prking space light gray colour or similar
CON.		Concert on road
ASP.		Asphalt finish on road



**NOTE:**

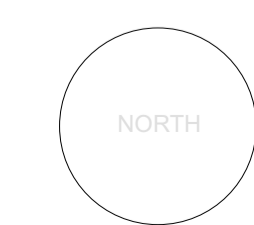
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No	DATE	AMENDMENT
01	10.01.20	Issue for consultation coordination.
02	10.03.20	Issue for consultation coordination.
03	04.04.20	Issue for consultation coordination.
04	04.06.20	Issue for final coordination.
05	24.06.20	Issue for DA submission.

**PROJECT**  
**PROPOSED MIXED USE LIGHT INDUSTRIAL PARK DEVELOPMENT**

**SITE:**  
**27 Sunny Bank Road, Lisarow, NSW**  
**Lot 1, DP 880254**

**CLIENT:**  
**Palladium Property Services Pty Ltd**



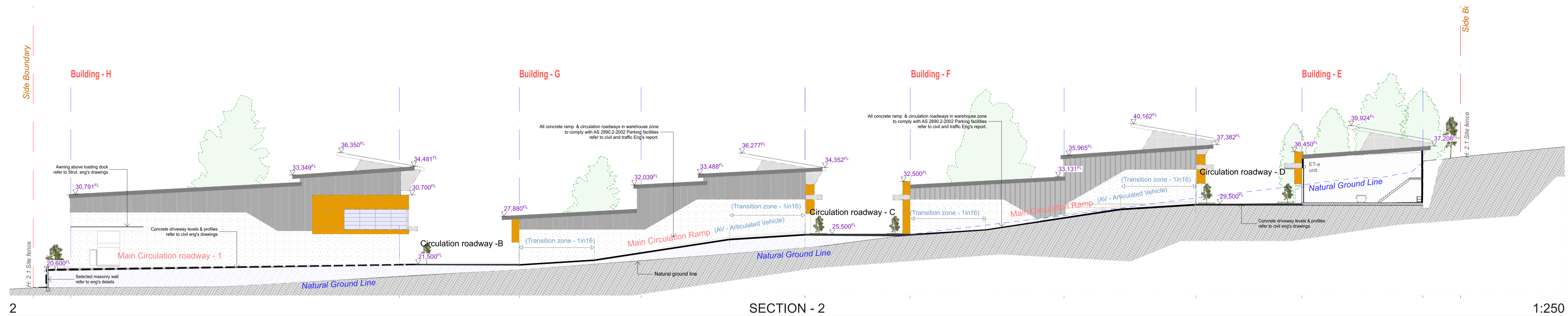
**BHI ARCHITECTS PTY LTD**  
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**WOLLONGONG**  
**KIAMA**  
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<b>DRAWING TITLE:</b>	<b>STATUS:</b>
<b>Elevations.</b>	<b>DA</b>
<b>DRAWN</b> JK	<b>CHKD</b> MH
<b>DATE</b> 3/7/20	<b>SCALE:</b> @A1
<b>PROJECT NO.</b> 8756	<b>DRAWING NO.</b> A.3006
	<b>05</b>





SECTION - 2

1:250



Section - 1

1:250

NOTE:

1. TIMBER FRAMING AND WIND BRACING TO COMPLY WITH AS1618 AND TO NSW TIMBER FRAMING MANUAL AMENDED TO SUIT WIND TERRAIN CATEGORY 3.
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No DATE AMENDMENT

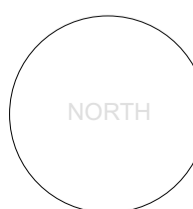
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PROJECT  
PROPOSED MIXED USE LIGHT INDUSTRIAL PARK DEVELOPMENT

SITE:  
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DRAWING TITLE:

Site Sections

STATUS: DA	SCALE: @A1
DRAWN: JK	DATE: 3/7/20
CHKD: MH	SCALE: 1:250
PROJECT NO.: 8756	DRAWING NO.: A.3101
	05



**COLOUR SCHEDULE LEGEND FOR UNIT TYPES.**

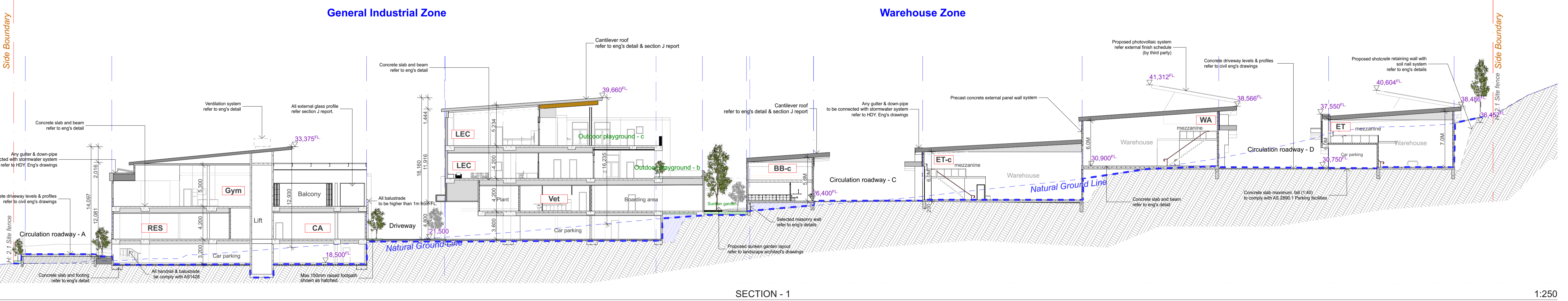
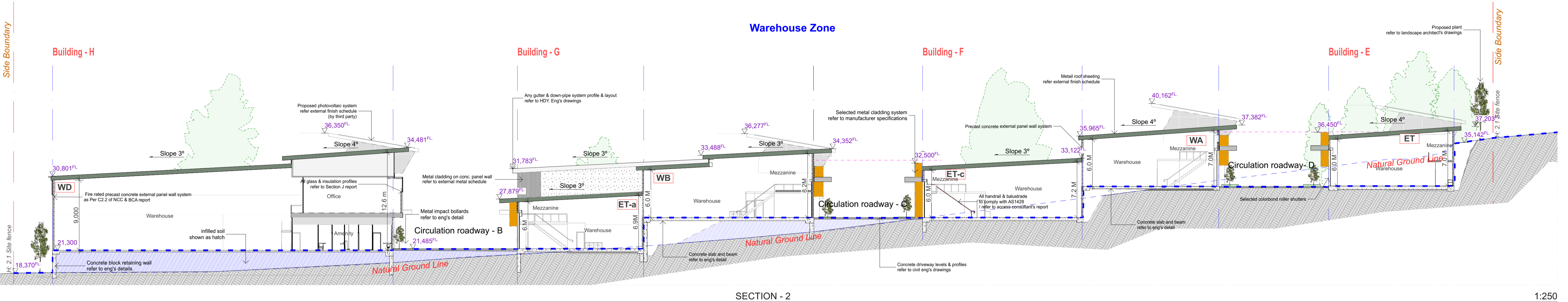
**General Industrial Zone**

- (CA) : Cafe (Street accessible)  
Dining (47m<sup>2</sup>) & kitchen (24 m<sup>2</sup>) area at ground level  
Total floor area : 71m<sup>2</sup>
- (Res) : Restaurant (Street accessible)  
Dining (77m<sup>2</sup>) & kitchen (37 m<sup>2</sup>) area at ground level  
Total floor area : 114 m<sup>2</sup>
- (TU-a) : General Industry unit (Street accessible)  
Unit floor (119 m<sup>2</sup>) area at ground level  
Storage (80m<sup>2</sup>) area at Mezz. floor level  
Total floor area : 199 m<sup>2</sup>
- (TU-b) : General Industry unit (Street accessible)  
Unit floor (163 m<sup>2</sup>) area at ground level  
Storage (75m<sup>2</sup>) area at Mezz. floor level  
Total floor area : 238 m<sup>2</sup>
- (TU-c) : General Industry unit (Street accessible)  
Unit floor (296 m<sup>2</sup>) area at ground level  
Storage (148m<sup>2</sup>) area at Mezz. floor level  
Total floor area : 444 m<sup>2</sup>
- (NS) : Neighbourhood Shop (Street accessible)  
Total floor area : 87m<sup>2</sup>
- (GY) : Gym / Sport activity centre (at first floor level)  
(24 hour accessible Gymnasium )  
Total floor area : 400 m<sup>2</sup> area
- (ELC) : Early Learning Centre  
( 90 Licensed@ with with 710m<sup>2</sup> outdoor play  
( Basement carparking space)  
First floor (489 m<sup>2</sup>) & second floor (368 m<sup>2</sup>) area  
Total floor area : 892 m<sup>2</sup>
- (Vet) : Veterinary Hospital (Street accessible)  
Total floor area : 416 m<sup>2</sup>
- (MO) : Service Management Office  
Total floor area : 39 m<sup>2</sup>

**Warehouse zones**

- (BB) : Butter Boxes (storage unit)  
self-storage units ( 60m<sup>2</sup>) area at ground level  
Total floor area: 60 m<sup>2</sup>
- (BB-a) : Butter Boxes (storage unit)  
self-storage units ( 60m<sup>2</sup>) area at ground level  
( / Min. 5.8M Ceiling height )
- (BB-b) : Butter Boxes (storage unit)  
self-storage units ( 60m<sup>2</sup>) area at ground level  
storage (15m<sup>2</sup>) at Mezz. floor level  
Total floor area: 75 m<sup>2</sup>  
( Wet area / Min. 5.8M Ceiling height )
- (BB-c) : Butter Boxes (storage unit)  
self-storage units ( 86m<sup>2</sup>) area at ground level  
Storage (21m<sup>2</sup>) at Mezz. floor level  
Total floor area: 107 m<sup>2</sup>  
( 1 lot of car parking / Wet area / Min. 4.5M Ceiling height )
- (ET) : Enterprise unit (warehouse)  
Warehouse ( 92m<sup>2</sup>) area at ground level  
Office (14m<sup>2</sup>) at first floor level  
Total floor area: 106 m<sup>2</sup>  
( 1 lot car parking )
- (ET-a) : Enterprise unit (warehouse)  
Warehouse ( 102m<sup>2</sup>) area at ground level  
Office ( 20m<sup>2</sup>) at first floor level  
Total floor area: 122 m<sup>2</sup>  
( 1 lot car parking )
- (ET-b) : Enterprise unit (warehouse)  
Warehouse ( 130 m<sup>2</sup>) area at ground level  
Office (23m<sup>2</sup>) at first floor level  
Total floor area: 153 m<sup>2</sup>  
( 1 lot car parking )
- (ET-c) : Enterprise unit (warehouse)  
Warehouse ( 142m<sup>2</sup>) area at ground level  
Office ( 20m<sup>2</sup>) at first floor level  
Total floor area: 162 m<sup>2</sup>  
( 1 lot car parking )
- (ET-d) : Enterprise unit (warehouse)  
Warehouse ( 116 m<sup>2</sup>) area at ground level  
Office ( 20m<sup>2</sup>) at first floor level  
Total floor area: 136 m<sup>2</sup>  
( 1 lot car parking )

- (WA 1) : Warehouse unit A  
Warehouse ( 192m<sup>2</sup>) area at ground level  
Office (30m<sup>2</sup>) at first floor level  
Total floor area: 222m<sup>2</sup>  
( 2 lot car parking )
- (WA 2) : Warehouse unit A  
Warehouse ( 244 m<sup>2</sup>) area at ground level  
Office (30m<sup>2</sup>) at first floor level  
Total floor area: 274 m<sup>2</sup>  
( 2 lot car parking )
- (WA 3) : Warehouse unit A  
Warehouse ( 295 m<sup>2</sup>) area at ground level  
Office (30m<sup>2</sup>) at first floor level  
Total floor area: 325 m<sup>2</sup>  
( 2 lot car parking )
- (WB) : Warehouse unit B  
Warehouse ( 304m<sup>2</sup>) area at ground level  
Office (40m<sup>2</sup>) at first floor level  
Total floor area: 344 m<sup>2</sup>  
( 3 lot car parking )
- (WC) : Warehouse unit C  
Warehouse ( 551 m<sup>2</sup>) area at ground level  
Office (50m<sup>2</sup>) at first floor level  
Total floor area: 601 m<sup>2</sup>  
( 4 lot car parking )
- (WD) : Warehouse unit D  
Warehouse ( 685 m<sup>2</sup>) area at ground level  
Office (78m<sup>2</sup>) at first floor level  
Total floor area: 763m<sup>2</sup>  
( 4 lot car parking )
- (WE) : Warehouse unit E  
Warehouse (1400 m<sup>2</sup>) area at ground level  
Office ( 126 m<sup>2</sup>) at first floor level  
Total floor area: 1526 m<sup>2</sup>  
( 10 lot car parking )

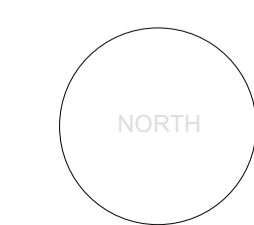


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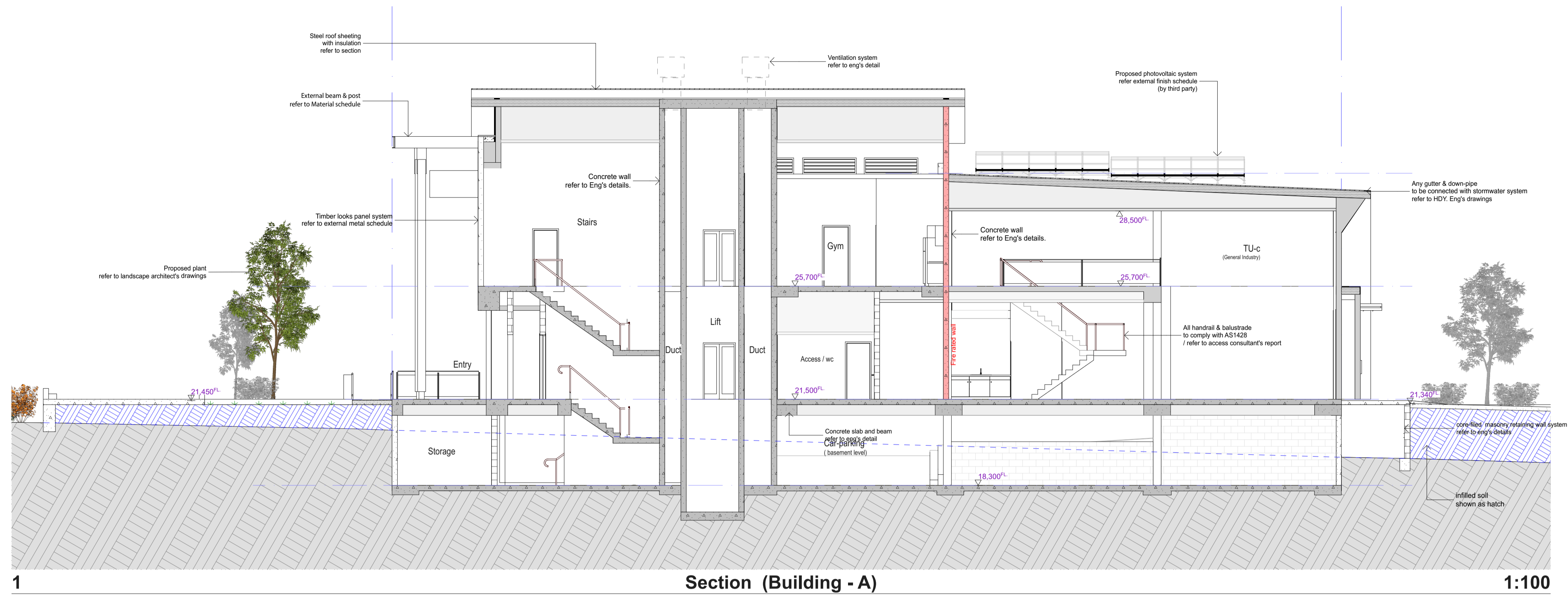
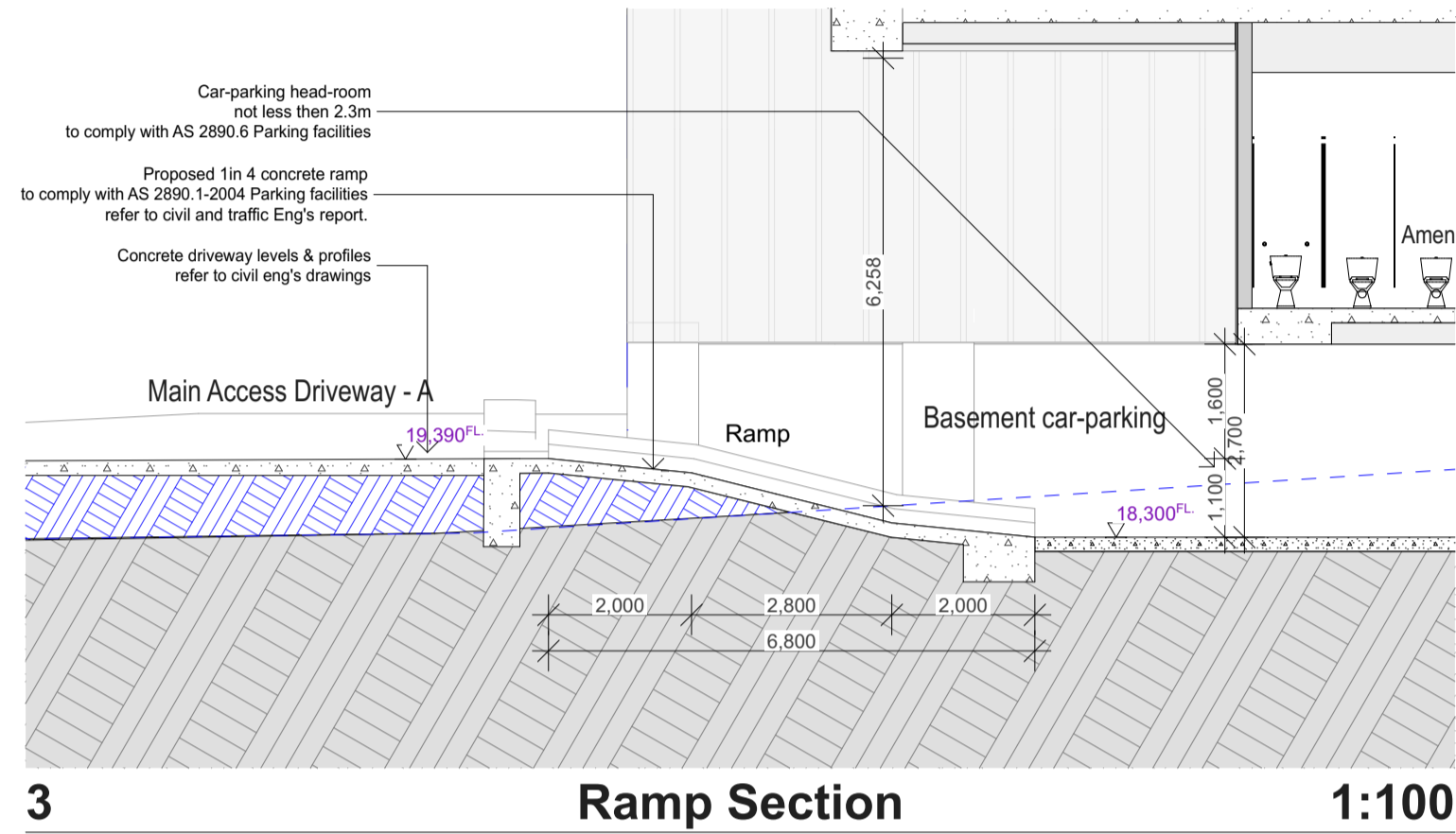


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DRAWING TITLE:		STATUS: <b>DA</b>	
<b>Sections</b>			
DRAWN	CHKD	DATE	SCALE: @A1
JK	MH	3/7/20	1:250
PROJECT NO.	DRAWING NO.		
8756	<b>A.3102</b>	<b>05</b>	





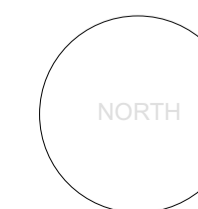
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DRAWING TITLE:

**Sections**  
 DRAWN CHKD  
 JK MH  
 PROJECT NO.  
**8756**

STATUS: **DA**

DATE  
 3/7/20  
 DRAWING NO.  
**A.3103**  
 SCALE: @A1  
 1:100  
**05**